



NOTICE OF MEETING

**Environment, Culture and Communities Overview & Scrutiny Panel
Tuesday 7 March 2017, 7.30 pm
Council Chamber, Fourth Floor, Easthampstead House, Bracknell**

To: Environment, Culture and Communities Overview & Scrutiny Panel

Councillor Angell (Chairman), Councillor Porter (Vice-Chairman), Councillors Mrs Angell, Brossard, Finnie, Mrs Ingham, Mrs McKenzie, Mrs McKenzie-Boyle and Mrs Mattick

cc: Substitute Members of the Panel

Councillors Dudley, Kennedy, Leake, Ms Miller and Virgo

ALISON SANDERS
Director of Corporate Services

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Panel
Tuesday 7 March 2017, 7.30 pm
Council Chamber, Fourth Floor, Easthampstead House,
Bracknell**

Sound recording, photographing, filming and use of social media at meetings which are held in public are permitted. Those wishing to record proceedings at a meeting are however advised to contact the Democratic Services Officer named as the contact for further information on the front of this agenda as early as possible before the start of the meeting so that any special arrangements can be made.

NB: There will be a pre-meeting for Panel Members at 7:00 pm in Meeting Room 1, 4th Floor, Easthampstead House.

AGENDA

Page No

1. APOLOGIES FOR ABSENCE/SUBSTITUTE MEMBERS

To receive apologies for absence and to note the attendance of any substitute members.

2. MINUTES AND MATTERS ARISING

To approve as a correct record the minutes of the meeting of the Environment, Culture and Communities Overview and Scrutiny Panel held on 10 January 2017.

5 - 10

3. DECLARATIONS OF INTEREST AND PARTY WHIP

Members are requested to declare any disclosable pecuniary or affected interest, including the existence and nature of the Party Whip, in respect of any matter to be considered at this meeting.

Any Member with a Disclosable Pecuniary Interest or an Affected Interest in a matter should withdraw from the meeting when the matter is under consideration and should notify the Democratic Services Officer in attendance that they are withdrawing as they have such an interest. If the Interest is not entered on the register of Members interests the Monitoring Officer must be notified of the interest within 28 days.

4. URGENT ITEMS OF BUSINESS

Any other items which, pursuant to Section 100B(4)(b) of the Local Government Act 1972, the Chairman decides are urgent.

5. PUBLIC PARTICIPATION

To receive submissions from members of the public which have been submitted in advance in accordance with the Council's Public Participation Scheme for Overview and Scrutiny.

OVERVIEW AND POLICY DEVELOPMENT

6. CONTAMINATED LAND

A report regarding contaminated land in the Borough is attached for consideration. 11 - 14

7. CORAL REEF

To receive an update presentation in respect of the refurbishment of Coral Reef.

8. DESIGN SUPPLEMENTARY PLANNING DOCUMENT (SPD)

To consider the Design SPD to provide guidance on designing new housing schemes, extensions and alterations to existing properties. 15 - 66

9. BRACKNELL FOREST BOROUGH LOCAL PLAN UPDATE

A progress update report regarding the Bracknell Forest Borough Local Plan is attached. 67 - 76

10. WORKING GROUP UPDATE REPORT

To receive an update in respect of the Working Group of the Panel reviewing Houses in Multiple Occupation. 77 - 78

PERFORMANCE MONITORING

11. QUARTERLY SERVICE REPORT (QSR)

To update the Panel in respect of the latest available departmental performance as reported in the QSR for the third quarter of 2016/17 (October to December 2016) relating to Environment, Culture and Communities. An overview of the fourth quarter of 2016/17 will also be provided. 79 - 122

The Chairman has asked that any detailed or procedural questions arising from the QSR should be referred to the Director of Environment, Culture and Communities in advance. Only issues of strategic importance or of wider implications need then be raised at the meeting.

HOLDING THE EXECUTIVE TO ACCOUNT

12. EXECUTIVE KEY AND NON-KEY DECISIONS

To consider scheduled Executive Key and Non-Key Decisions relating to Environment, Culture and Communities. 123 - 130

DATE OF NEXT MEETING

The next meeting of the Environment, Culture and Communities Overview and Scrutiny Panel has been arranged for Tuesday 11 July 2017.

**ENVIRONMENT, CULTURE AND
COMMUNITIES OVERVIEW & SCRUTINY
PANEL**

10 JANUARY 2017

7.30 - 9.22 PM



Present:

Councillors Angell (Chairman), Porter (Vice-Chairman), Mrs Angell, Brossard, Mrs Ingham, Mrs McKenzie-Boyle and Mrs Mattick

Executive Members:

Councillors McCracken and Turrell

Also Present:

Andrea Carr, Policy Officer (Overview and Scrutiny)
Andrew Hunter, Chief Officer: Planning, Transport & Countryside
Damian James, Head of Performance and Resources
Steve Loudoun, Chief Officer: Environment & Public Protection
Louise Osborn, Emergency Planning Officer
Vincent Paliczka, Director of Environment, Culture & Communities

Apologies for absence were received from:

Councillors Finnie and Mrs McKenzie

129. Minutes and Matters Arising

RESOLVED that the minutes of the meeting of the Panel held on 20 September 2016 be approved as a correct record and signed by the Chairman.

There were no matters arising.

130. Declarations of Interest and Party Whip

There were no declarations of interest relating to any items on the agenda, nor any indication that Members would be participating under the party whip.

131. Urgent Items of Business

There were no items of urgent business.

132. Public Participation

No submissions had been made by members of the public under the Council's Public Participation Scheme for Overview and Scrutiny.

133. 2017/18 Draft Budget Proposals

The Director of Environment, Culture and Communities presented a report on the key themes and priorities for Environment, Culture and Communities as outlined in the draft budget proposals for 2017/18, which the Executive had approved for

consultation. The initial preparations for the budget had focussed on the Council's Commitment Budget for 2017/18 – 2019/20, bringing together existing expenditure plans, taking account of approved commitments and the ongoing effects of service developments and efficiencies that were agreed when the 2016/17 budget was set.

A number of changes were proposed to the Commitment Budget since it was last considered by the Executive in July 2016, the overall effect of which was to decrease it by £5.107m to £66.988m. Environment, Culture and Communities spending would decrease as a result of its share in the overall in-year savings agreed by the Council, a lower projection for the Minimum Revenue Provision as a result of changes to capital provision (eg. Coral Reef) and updated Waste Disposal projections based on the latest tonnages and recycling data.

The Panel noted the draft revenue budget pressures for the Department totalling £387,000 for 2017/18, of which the most significant were £110,000 for increased waste contract costs arising from the additional flats being built in the Borough; £80,000 on waste management costs for disposal of waste from the additional dwellings built; and £70,000 for the cost of developing a joint Minerals and Waste Local Plan over the next four years. However, these were outweighed by savings proposals amounting to £649,000. The largest savings arising were £150,000 on the formation of a joint Regulatory Services team with Wokingham and West Berkshire; £100,000 as a result of re3 local initiatives and increased levels of recycling; and £75,000 for Bracknell Leisure Centre through recovery of lost business and changes to membership scheme sales. All the savings measures had been designed to have the least possible impact on service to the public. The Panel also reviewed the proposed fees and charges for 2017/18, most of which had been increased by around 2%, unless market conditions suggested that a larger increase was appropriate.

The Panel sought clarification and answers to a number of questions, from which the following arose:

- The possibility of charging commercial interests for consent to attach signage to Council street furniture would be looked into.
- Advice on the Council's VAT charging process had been sought as part of the Gateway Review of Leisure Services. Although some VAT savings might arise if certain leisure services were provided through a Trust or a company wholly owned by the Council, greater economies of scale were likely to arise through outsourcing services to a larger contractor.
- A check was requested of the Building Control charges for other work (Plan Charge) for works where the estimated cost was £5,001 to £10,000 or £10,001 to £20,000, each of which appeared to exceed the charge for more expensive works.

The Panel further noted the 2017/18 Capital Programme bids. The Panel was assured that adequate publicity and the affixing of notices to parking pay machines would be arranged in advance of the installation of new coin mechanisms in the machines, to advise the position on the acceptance or otherwise of new notes and coins in circulation. Members were pleased to note the potential for savings and increased opening hours which would flow from the investment in self-service issue apparatus and mobile technology for Borough libraries.

134. **Local Flood Risk Management Strategy 2017-20**

The Panel considered a report presenting the Council's reviewed and updated Local Flood Risk Management Strategy (LFRMS) 2017-2020.

The Strategy had been drafted taking account of the Council's responsibilities as Lead Local Flood Authority and the assessment of the Borough as being at a low risk of flooding. The approach to managing the local flood risk rested on three overarching principles:

- **Maintain** – ensure that existing water networks are maintained to minimise flood risk;
- **Improve** – assess and improve the existing flood risk situation within the Borough; and
- **Prevent** – work towards preventing and mitigating flood risk within the Borough.

Consultation on the draft Strategy commenced in December, with any comments to be incorporated before it was presented to the Executive on 14 February 2017 for adoption.

Arising from questions, it was explained to the Panel that the planning process required developers to include provisions for Sustainable Drainage Systems (SuDS) on all major developments (10 or more units). However, the maintenance of such systems would remain largely in private hands. For smaller developments the same SUDs requirements do not apply. Where householders installed parking areas or hard landscaping controls over the use of materials to be used related to whether planning permission was required or not and if the work was being undertaken in conjunction with the instillation of a dropped kerb. Officers reported on the position in relation some local areas prone to surface water flooding (eg. Rackstraw Road, Sandhurst) and indicated the benefits of modern gully cleaning equipment and use of historical records in setting the frequency of cleansing schedules.

The Panel endorsed the draft LFRMS and requested that a reminder be sent to all Town and Parish Councils to submit their responses by the end of January 2017 to enable the inclusion of any local comments/information in the Strategy to be reported to the Executive.

135. **Coral Reef**

The Head of Performance and Resources made a presentation to the Panel on the progress of the refurbishment at Coral Reef.

Most importantly, the contract was proceeding on time and within budget. The project had entered contingency due to additional works required to the changing village walls; the Coconut Grove ceiling and air handling unit; Sauna World roof replacement; and further roof repairs. These issues had arisen as the existing structure had been dismantled, revealing that some areas had not been built as per the original plans, and no operation and maintenance manual had been provided by the original contractor (who had subsequently gone into liquidation).

The work currently in progress had reached the following stage:

- Old roof removal with a start on the replacement
- Flat roof to the changing village
- Flume tower up to second floor landing
- Flume sections starting to arrive on site
- Flume column bases completed
- Splash pool steel frame erected along with brickwork enclosure

The Panel viewed photographs of the works in progress and received answers to questions on matters of detail. A résumé of the remaining work to take the project

through to completion was given, for a scheduled opening date of 18 August 2017. Complimentary comments were made about the latest website update on progress of the scheme and the wide interest generated as a result of the media site visit. Further media information was proposed over the next phase. The Panel was assured that none of the shortcomings of the contractor on handover of the original building would be repeated.

136. **Bracknell Forest Borough Local Plan Update**

The Panel considered a report summarising the up to date position on the various documents comprising the Bracknell Forest Borough Local Plan (BFBLP).

The preparation of the Comprehensive Local Plan (CLP) was proceeding in accordance with the timetable set out in the Local Development Scheme and detailed in the report. The work to summarise and analyse the responses to the Issues and Options consultation was ongoing leading up to the Preferred Option Plan consultation programmed for June/July 2017.

Progress on the following documents being prepared as part of the evidence base to support the CLP was reported:

- Strategic Housing Market Assessment (SHMA)
- Strategic Housing and Employment Availability Assessment (SHELAA)
- Gypsy and Traveller Accommodation Assessment (GTAA)
- Functional Economic Market Area (FEMA)
- Economic Development Needs Assessment (EDNA)
- Landscape Character Study
- Sustainability Appraisal/Strategic Environmental Assessment (SA/SEA)
- Green Belt Review
- Strategic Flood Risk Assessment (SFRA)
- Development Viability

The Panel noted that the SHELAA was a record of sites submitted by interested parties (generally landowners and developers) for potential development. Among the sites submitted was land east of Martins Heron, which along with all the other sites would need to be assessed for availability, suitability and achievability of development. However, the SHELAA would not allocate sites for development and was not a statement of Council policy.

The report also updated the Panel on progress on the preparation of the Joint Minerals and Waste Local Plan (in conjunction with Reading Borough Council, Wokingham Borough Council and the Royal Borough of Windsor & Maidenhead) and the production of a Supplementary Planning Document on Design to be considered by the Executive in March 2017.

137. **Working Group Update**

The Panel received a progress report of the Working Group reviewing houses in multiple occupation (HMOs). The review had been scoped at the first meeting of the Working Group and future meetings would look to review the planning and housing functions associated with HMOs and any related anti-social behaviour issues.

138. **Work Programme 2017/18**

The Panel considered its Work Programme for 2017/18.

The Panel favoured a review of Parks and Open Spaces to be carried out next, as it had now risen to the top of the list of future possible reviews. Panel Members were asked to consider whether they would like to be involved in this review and officers were asked to consider how it could be carried out without duplicating work to be undertaken for the Parks and Countryside review forming part of the Transformation Programme which would start in April 2017.

139. Overview and Scrutiny Progress Report

The Panel received and noted the Overview and Scrutiny bi-annual progress report setting out the activity and developments over the period June to November 2016.

140. Quarterly Service Report (QSR)

The Panel considered the latest trends, priorities and pressures in terms of departmental performance as reported in the QSR for the second quarter of 2016/17 (July to September 2016) relating to Environment, Culture and Communities. The report highlighted exceptional performance, remedial action being taken against under performance, significant changes in risk, significant customer feedback and inspections and significant changes in service use and the associated financial impact.

The Director highlighted a number of items from the report and gave an overview of the third quarter performance. He indicated the major variances on the revenue budget, currently amounting to a £459,000 decrease, and predicted the underspend would be around £0.5m at the end of the year. The capital budget for the current year was currently 50% spent, which would rise to approximately 85% at the year end, the remainder being carried forward. Key highlights also included a special mention of those departmental services which had been recipients of awards or received external recognition. Reference was made to five of the Borough parks which had been awarded Green Flag status and South Hill Park which had received a gold 'Britain in Bloom' Award. It was also noted that a further Green Flag Award for Westmorland Park had also been awarded.

Among the items mentioned in the forward look, it was noted that a number of the reviews included in the Transformation Programme were moving forward and would begin to deliver on the savings identified. Staff were working with the schools to ensure a smooth transition for the Edgbarrow and Sandhurst Sports Centre at the end of March 2017 and work was proceeding towards some joint arrangements across Berkshire to support a more resilient emergency planning service.

141. Executive Key and Non-Key Decisions

The Panel received and noted the scheduled Key and Non-Key Executive Decisions relating to Environment, Culture and Communities.

CHAIRMAN

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TO: ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL
7 MARCH 2017

CONTAMINATED LAND
Director of Environment, Culture & Communities

1 INTRODUCTION

- 1.1 The national Contaminated Land Regime was introduced in response to the legacy of contaminated land left from a wide range of historical, industrial, mining and waste disposal activities. Both local authorities and the Environment Agency have mandatory obligations to discharge in relation to contaminated land.

2. BACKGROUND

Legislative background

- 2.1 The Regime was introduced by Part IIA of the Environmental Protection Act 1990 and came into force in April 2000.
- 2.2 The legislation provides for powers that enable for example the remediation of contaminated land, and it compliments the planning regime. The planning regime enables the use of planning conditions to deal with any associated risks. Part IIA also empowers local authorities and the Environment Agency to deal proactively with land that is not actively undergoing redevelopment, but is posing unacceptable risks to humans, controlled waters or the wider environment. This legislation is consistent with the 'Polluter Pays Principle' in that it seeks to place the cost burden of dealing with contamination on the polluter where they can be found, or the landowner/ occupier where the polluter no longer exists.
- 2.3 For any land to be designated as 'contaminated land' under the Environmental Protection Act, three criteria must be met. Namely, there must be an identified contaminant, an identified receptor that is likely to be harmed by the contaminant should the two come into contact, and a feasible pathway by which the two can connect. Therefore some redevelopment may be undertaken on contaminated land sites if the future use of the land would prevent a pathway being created e.g. a car park in a residential development thereby not allowing vegetables to be grown in the area which could be eaten by a human (receptor).

Local Risk

- 2.4 The history of industry and development in the Borough does not lend itself to the creation of numerous high-risk sites of contaminated land. The Borough is not rich in raw materials such as coal, iron ore etc; thus there is little heavy industry apparent in the historical make up of the Town. Today the current employment activity is generally in the high technology field. However, Bracknell Forest has been home in the past to a number of landfills and industries whose processes have the potential to contaminate land. These include:
- Breweries
 - Brickworks

- Chemical works
- Gasworks
- Landfills
- Metal finishers
- Paper and printing works
- Petrol stations
- Scrap yards
- Sewage works and sewage sludge treatment

2.5 Between May 1999 and June 2000, a desktop survey was undertaken to identify potentially contaminated sites within, and up to 250m beyond, the boundary of Bracknell Forest Borough Council. That survey identified and risk assessed some 2,500 potentially contaminated sites within the Borough.

Current Position

2.6 The sites identified in the survey have all since been mapped onto the UNIFORM database and those considered to be high risk have had site visits undertaken by Environmental Health to investigate if further any further assessment was required to determine contamination, which has not been the case. No sites that the Council is responsible for have been found to be 'contaminated' within the meaning of the Act such that direct intervention is required as things stand.

2.7 In the majority of instances where there are potentially contaminated land sites there has been no need to undertake any additional measures as the nature of the land and its occupation do not warrant it. There is only a need to review the situation if the land use changes. Invariably, this comes to the Council's attention through the planning process and as a result many of what were once considered contaminated sites have now been dealt with through that process. The position locally is that the trigger for change will be when there are proposals for redevelopment of brownfield sites. There is no longer any sites where there is an identified need for direct intervention. Accordingly the planning regime is now our primary mechanism for dealing with any potentially contaminated land issues. Any remediation deemed necessary will be dealt with via planning conditions and not under Part IIA of the Environmental Protection Act 1990. Environmental Health assesses all planning applications for sites considered potentially contaminated and seeks appropriate conditions to mitigate risk to health.

2.8 Under the Environmental Protection Act, the Council must record its regulatory actions on a public register in relation to contaminated land. The Council's approach to contaminated land is set out in a strategy <http://www.bracknell-forest.gov.uk/contaminated-land-inspection-strategy.pdf>

Role of the Environment Agency

2.9 The Act provides a shared responsibility for contaminated land management with the Environment Agency. Both organisations work together as necessary and the Agency is the enforcing authority for land designated as a Special Site. Special Sites are the most complex and dangerous contaminated sites. They include defence and nuclear sites, and some sites involving water pollution (e.g. where drinking water is affected). Locally, they also have the enforcement responsibility for Strong's Heath (London Road).

Historic Local Authority Landfills

- 2.10 Within the Borough there are three former local authority landfill sites. Longhill and Longshot Lane are former landfill sites that still need active monitoring. The responsibility for such monitoring, and ensuring compliance with regulatory standards, falls to the Council. Annual reports are produced each year and recommendations to improve the gas management on both of these sites are made. These include such items as repairs to boreholes and structures on the sites to ensure current users of the site are not exposed to any landfill gas which may be emitted.
- 2.11 The third landfill site is Strongs Heath. That became a closed site in 1998 and it is managed by the Council on behalf of all of the Berkshire Authorities. Strongs Heath is a former Berkshire County Council municipal waste site. It is regulated by the Environment Agency according to terms set out in a Permit. That permit requires the ongoing management and monitoring of gas and leachate. The site was constructed in a former sandpit. The site is unlined and it was designed to operate as a dilute and disperse site. The management of the site has been outsourced to specialists. They have the day to day responsibility for the gas management of the site. Leachate is extracted and sent for specialist disposal. Methane is drawn off and burnt by an onsite flare. In the past the site was able to produce electricity and provide the local school with hot water produced as a by product of the process. Over the years the quality of the gas deteriorated and it became uneconomical to continue and the equipment was removed.
- 2.12 Each year an annual report is produced that details the monitoring results and outlines recommendations to improve the gas management on the site. In recent years this has included a programme of re-drilling a number of boreholes, replacing manifolds and pipework on site and improving the leachate removal from the site.
- 2.13 The site is considered an active site and is likely to remain so for at least a further thirty years under current conditions.

3 EQUALITIES IMPACT ASSESSMENT

- 3.1 Not applicable.

4 STRATEGIC RISK MANAGEMENT ISSUES

- 4.1 None.

Background Papers

None.

Contacts for further information

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**TO: ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL
7 MARCH 2017**

ADOPTION OF THE DESIGN SUPPLEMENTARY PLANNING DOCUMENT

Director of Environment, Culture and Communities

1 PURPOSE OF REPORT

- 1.1 The purpose of this report is to seek the Panel's views on the proposal to adopt the Design Supplementary Planning Document (SPD), attached at Appendix A, as planning guidance and to agree the Consultation Statement for publication at Appendix B.
- 1.2 The adoption of SPDs is an Executive function and the SPD is being put before the Executive meeting on the 14th March with a recommendation that it be adopted for the purposes of development control as a material consideration in the determination of planning applications.

2 EXECUTIVE SUMMARY

- 2.1 The Design SPD is a new document and sets out design principles and best practice to guide the design quality of developments proposals in the Borough. The Design SPD:
 - Incorporates the information for householders on extending their homes as currently set out in the design leaflet entitled "Extending your Home: A Householders Guide". The design leaflet will therefore cease to have effect from the date of the adoption of the Design SPD:
 - Builds on the design guidance set out within the National Planning Policy Framework (NPPF): and
 - Builds upon the Council's own policies as set out in the Core Strategy Development Plan Document 2007; the saved policies of the Bracknell Forest Borough Local Plan 2002 and the current Streetscene SPD and Character Area Assessment.
- 2.2 A Draft SPD was approved by the Executive in September 2016 for public consultation between Monday 17th October and Monday 27th November 2016. The consultation comprised an advertisement in the local newspaper, placing the documents in local public buildings and consulting directly with all the individuals and organisations the planning database who have expressed an interest in planning matters. A total of 26 responses from the public and professionals were received during the consultation period. All responses have been considered in producing the final version of the Design SPD (Appendix A). A summary of the consultation process, the responses received and how they have been considered is provided in the Consultation Statement (Appendix B). The adopted Design SPD will replace the design leaflet entitled "Extending Your Home: A Householders Guide" and will be a material consideration in the determination of planning applications.

3. RECOMMENDATION(S)

3.1

- (i) That the Overview and Scrutiny Panel endorses the adoption of the Design SPD at Appendix A as a material consideration in the determination of planning applications**
- (ii) That the Overview and Scrutiny Panel endorses the publication of the Consultation Statement at Appendix B; and,**
- (iii) That any views expressed by the Panel on the Design SPD or Consultation Statement are reported to the Executive.**

4 REASONS FOR RECOMMENDATION(S)

4.1 The Council has reviewed its current design guidance and considers that a Design SPD would assist with:

- the implementation of current planning policies;
- support the approach to design in the emerging Comprehensive Local Plan; and,
- provide prospective applicants with a clearer idea of the Council's expectations for design.

4.2 The public consultation secured the views of the public and professionals in accordance with the Council's Statement of Community Involvement (SCI). In general, the document was welcomed as providing additional guidance of value when designing new development in the Borough and submitting planning applications. The new document will replace and update information contained in the leaflet titled "Extending Your Home: A Householders Guide". It includes additional design advice covering key design principles for new housing and commercial development in the Borough in addition to guidance for householders. The Design SPD is consistent with national and local policy and its adoption will ensure that it becomes a material consideration in the determination of planning applications from the date of adoption.

5 ALTERNATIVE OPTIONS CONSIDERED

5.1 Not adopting the Design SPD would be likely to result in more officer time being spent on assessing the standard of design included within planning applications to ensure that an acceptable standard is achieved. In addition, the Council's current guidance leaflet does not have the same legal status as a SPD which is a material planning consideration, and therefore carries less weight in planning terms.

6 SUPPORTING INFORMATION

Background to the Design SPD

6.1 The National Planning Policy Framework (NPPF) states at paragraph 153 that SPDs should be used to assist applicants to make successful applications. This new SPD, which includes many clear illustrations, will help applicants properly understand how the Council's design policies can be met. It also details the Council's desire to achieve high quality development across the Borough. The key policies relevant to this new Design SPD will be policy CS7 Design in the Core Strategy Development Plan Document 2007 and Bracknell Forest Borough Local Plan 2002 saved policy

EN20 – Design considerations in new development. The document also complements and cross references to the current Streetscene SPD, Parking Standards SPD and Character Area Assessments SPD.

The Design SPD

- 6.2 The proposed SPD is at Appendix A to this report and is structured as follows:

Chapter One - Introduction

This sets out the scope of the document, who it is aimed at, and the weight to be given to the information within it.

Chapter Two - Design and Context

This chapter details some of the more high level principles relating to understanding the site and context of the area, responding to existing character and, where needed, creating “places” with their own identity and the standards of quality expected in new development in the Borough.

Chapter Three - Built Form and Spaces

Detailed guidance is provided on the basic principles of design to create places that will provide good communities and pleasant homes for our residents in the future.

Chapter Four – Extending Your Home

This includes much of the information already set out in the “Householder’s Leaflet: A Guide to Extending Your Home”, with additional information and up to date references and sources.

Chapter Five – Design and Access Statements

The document includes information relating to what should be provided within a Design and Access Statement, checklists and where to go for additional information.

Appendix

Further sources of information

Scope of the new Design SPD

- 6.3 The new SPD is intended to be simple and easy to use and sets out key design principles to consider when proposing new buildings or extending existing properties. Its scope is wide and relevant to both small and large scale new developments. The SPD seeks to achieve the right content and tone for a wide audience of both technical professionals assessing large scale developments and the general public submitting small scale householder planning applications. The aim is to keep the document focussed and easy to use and not to reproduce design advice found in other Council documents. Cross references are made within the document to Council policy and guidance as appropriate.
- 6.4 The Design SPD has now been through the public consultation process in accordance with the Council’s Statement of Community Involvement (SCI) and all comments have been fully considered and amendments made to the document if considered appropriate. A summary of all the respondents’ comments and any subsequent amendments to the document are set out in the Consultation Statement at Appendix B.

7 Consultation

7.1 The Consultation Draft SPD was subject to full public consultation for a statutory 6 week period between Monday 17th October and Monday 25th November 2017. The consultation sought views from the public, town and parish councils, developers, agents, businesses and other interested parties. Copies of the Draft SPD and its supporting information were placed in libraries and town/parish council offices for inspection. All documentation was also made available on-line using the Council's consultation portal. The Draft SPD was also discussed at the Agents Forum meeting in November 2016.

7.2 In total there were 26 responses from members of the public, Crowthorne Parish Council and professionals. The Consultation Statement at Appendix B sets out the detail of the consultation including:

- a summary of each response;
- officer response to each comment made;
- recommendations for any appropriate changes to the SPD; and
- a reference for the location of the change within the document.

7.3 The key comments raised through the consultation process can be summarised as follows:

- A general welcoming of the new document as additional design advice.
- Additional emphasis needed on the positive contribution of green infrastructure and the need for more trees within new development.
- More reference to heritage assets, landscape character issues and maintaining views of historic assets.
- More consideration needed within new development of the existing character within neighbourhoods.
- The need to consider all within the community, particularly older people, people with dementia and young children when designing new places.
- Additional air quality, flood and Sustainable Drainage System (SuDS) information needed.
- New development should be built to higher densities to ensure a 5 year land supply is achieved and meet local needs more quickly.
- Too much development is happening all at the same time
- The need to continue to secure additional infrastructure to support new development sites and provide for existing communities.
- Some clarity needed in relation to specific diagrams and photos used.

All comments received on the draft document have been fully considered by officers. While changes to the document have been made as a result of the public consultation, these have been predominantly minor. Additionally, some of the photos and diagrams have been changed to improve clarity.

8 ADVICE RECEIVED FROM STATUTORY AND OTHER OFFICERS

Borough Solicitor

- 8.1 The authority to approve the Recommendations of the Report are reserved to the Executive pursuant to Part 2 of Section 5 of the Bracknell Forest Council Constitution (May 2016).
- 8.2 The Executive will be asked to note that, SPDs are local plan documents that add further detail to policies in a local plan and can be used to provide additional guidance on a particular issue, such as design. Once adopted an SPD becomes a material consideration in the determination of planning applications and will form part of the Council's statutory Local Development Framework.
- 8.3 Paragraph 7.1 of the report, advises that the Design SPD (attached at Appendix A) has completed the process of public consultation required to be undertaken prior to formal adoption in accordance with paragraph 12 of The Town and Country Planning (Local Planning) England Regulations 2012 and Section 19(3) of the Planning and Compulsory Purchase Act 2004 ("the Act") and is now at the adoption stage of the statutory process.
- 8.4 The Council is required to adhere to the public participation requirements set out in paragraph 12 of The Town and Country Planning (Local Planning) England Regulations 2012 prior to the adoption of an SPD. This includes the publication of a statement confirming the persons who have been consulted, setting out a summary of the main issues raised by those persons and explaining how those issues have been addressed in the SPD. The report confirms that this requirement has been complied with as evidenced at Appendix B.
- 8.5 The Executive is being advised that The Equality Act 2010 introduced a single public sector equality duty. This duty requires the Council to have due regard in its decision making processes to the need to:
- a) eliminate discrimination, harassment, victimisation or other prohibited conduct;
 - b) advance equality of opportunity between persons who share a relevant protected characteristic and those who do not; and
 - c) foster good relations between those who share a relevant characteristic and those that do not share it.
- The relevant protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.
- 8.6 The report confirms that an Equalities Screening Assessment has been undertaken in relation to the SPD and appended at Appendix C.
- 8.7 Further, the SPD will potentially engage certain human rights under the Human Rights Act 1998 ('the HRA'). The HRA prohibits unlawful interference by public bodies with convention rights. The term 'engage' simply means that human rights may be affected or relevant. In the draft SPD, a number of rights are potentially engaged:-
- The right to a fair trial (Article 6) – giving rise to the need to ensure proper consultation and effective engagement of the public in the process;
 - The right to respect for private and family life (Article 8) – for instance the Design SPD could impact on viability of housing provision or re-provision.
 - Other considerations may include impacts on amenities or the quality of life of individuals based on design considerations being too prohibitive;
 - Article 1, Protocol 1 (Protection of Property) – this right prohibits interference with individuals' right to peaceful enjoyment of existing and future property/homes. It could be engaged, for instance, if the Design SPD makes future development unviable.

- 8.8 It is important to note that few rights are absolute in the sense that they cannot be interfered with under any circumstances. 'Qualified' rights, including Article 6, Article 8 and Protocol 1, can be interfered with or limited in certain circumstances. The extent of legitimate interference is subject to the principle of proportionality whereby a balance must be struck between the legitimate aims to be achieved by a local planning authority in the policy making process against the potential interference with individual human rights.
- 8.9 In making their decision the Executive is being advised to have regard to human rights considerations and strive to strike a fair balance between the legitimate aims of adopting the SPD for the benefit of the community against the potential interference with individual rights.

Borough Treasurer

- 8.10 There are no direct financial implications arising from this report.

Equalities Impact Assessment

- 8.11 An Equalities Screening Record has been undertaken for the Design SPD and included as Appendix C.

Strategic Risk Management Issues

- 8.12 None as a consequence of this report.

Consultation

- 8.13 The preparation of the SPD has been informed by all the relevant technical officers across the Council including the Local Highway Authority.
- 8.14 The public consultation is detailed in paragraph 7.1 above and the Consultation Statement at Appendix B.

Background Papers

- APPENDIX A Design Supplementary Planning Document
APPENDIX B Consultation Statement
APPENDIX C Equalities Impact Assessment screening

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Design Supplementary Planning Document

Bracknell Forest Council

21



March 2017

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Contents

1	Introduction	2	4	Extensions and Alterations	32
1.1	Achieving good design through the planning system	2	4.1	Introduction	32
1.2	Design SPD	3	4.2	General guidance	32
1.3	How to use this document	3	4.3	Rear extensions	33
2	Responding to the Context	4	4.4	Rear infill extensions	35
2.1	Key principle	4	4.5	Side extensions	36
2.2	Understanding the site and its context	4	4.6	Front extensions and porches	37
2.3	Integrating the site into its surroundings	8	4.7	Roof extensions	38
2.4	Placemaking	8	4.8	Windows and doors	39
2.5	Sustainable Drainage Systems (SuDS)	9	4.9	Solar panels, satellite dishes and air source heat pumps	39
2.6	Sustainability	11	4.10	Balconies and roof terraces	39
3	Built Form and Spaces	12	4.11	Garages and outbuildings	40
3.1	Key principles	12	5	Design and Access Statements	41
3.2	Streets, blocks, open spaces and landscape	12	5.1	Introduction	41
3.3	Plots	15	5.2	Content of a Design and Access Statement	41
3.4	Frontages	16	6	Appendix: Further sources of information	42
3.5	Addressing edges	19			
3.6	Backland development	21			
3.7	Built form	22			
3.8	Building design	24			
3.9	Other residential requirements	28			

1 Introduction

1.1 Achieving good design through the planning system

1.1.1 Bracknell Forest Council is committed to securing high quality new development. The requirement for good design is at the heart of this commitment and is central to the assessment of all development proposals within the Borough.

1.1.2 Government Policy, as set out in the National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG), emphasises the importance of good design. The NPPF defines places that achieve good design as being those that:

- “Function well ... over the lifetime of the development”
- “Establish a strong sense of place”
- “Sustain an appropriate mix of uses ... support local facilities and transport networks”
- “Respond to local character ... surroundings and materials, while not preventing innovation”
- “Create safe and accessible environments”
- Are “visually attractive ... [with] good architecture and appropriate landscaping”.

1.1.3 The Council’s Core Strategy Development Plan Document (2008) sets spatial objectives for the development of the Borough. Policy CS7 Design requires good design for all development, together with a series of series of criteria as follows:

- *“i. build on the urban, suburban and rural local character, respecting local patterns of development and the historic environment;*
- *ii. provide safe communities;*
- *iii. enhance the landscape and promote biodiversity;*
- *iv. aid movement through accessibility, connectivity, permeability and legibility;*
- *v. enable a mix of uses;*
- *vi. provide high quality usable open spaces and public realm;*
- *vii. provide innovative architecture; and*
- *viii. provide well designed and integrated public art.”*

1.1.4 Saved Policy EN20 and emerging design related policies in the Comprehensive Local Plan further strengthen the Council’s commitment to high quality design within the Borough.

1.1.5 The Council has also adopted Supplementary Planning Documents (SPDs) to provide guidance on aspects of design. These include:

- the Bracknell Forest Character Area Assessments SPD which assesses local character in key parts of the area and provides guidance on how it can be retained and enhanced;
- the Streetscene SPD, which sets out how to create positive streetscenes;
- the Sustainable Resource Management SPD, which provides guidance on how to make buildings more environmentally friendly; and
- the Parking Standards SPD.

1.1.6 Core Strategy Policy CS7 Design also requires proposals to demonstrate how they will achieve good design, through Design & Access Statements, clear and informative drawings, including streetscenes, and other material that may define the future quality of development proposals, including concept statements, development briefs, masterplans or design codes.

1.1.7 The Council assesses all new development against ‘Building For Life 12’ criteria. Performance is measured at all stages of the planning process and once a development is completed its score is reported as part of the Council’s Annual Monitoring Report (AMR). Therefore all applicants should consider the Building for Life criteria from the outset of the design process.

1.1.8 The Council is currently developing a Comprehensive Local Plan (CLP) which will set the long-term spatial vision and development strategy for the Borough up to 2036. Once adopted, it will replace many of the saved policies in the Bracknell Forest Borough Local Plan (2002) and the Core Strategy (2008). It will be wide ranging in terms of the issues that it will cover. Please keep up to date on the progress of the CLP by referring to the Planning Policy pages of the Council’s website.

1.1.9 All areas of the Borough either have in place a Neighbourhood Plan or are working towards adopting a Neighbourhood Plan. These Neighbourhood Plans include additional policies specific to their areas which often relate to issues of character and context. The implementation of these policies and consultation with local resident groups should assist developers of both small scale proposals and larger neighbourhood extensions to achieve enhancements to an area and promote a sense of neighbourhood pride for all the community in development coming forward in their area.

1.2 Design SPD

1.2.1 This Design Guide document provides design principles and best practice to guide the design quality of development proposals. It elaborates on the design principles set out in both the NPPF and Core Strategy Policy CS7 Design and sets out how development proposals can achieve them. Saved Policy EN20 has also informed this guide.

1.2.2 In particular it focuses on design principles for built development in order to complement the other SPD documents that the Council has already adopted (identified above). In particular, the Streetscene SPD focuses on developments where new streets are to be created so this guide makes reference to it where relevant.

1.2.3 The Council intends to adopt this document as a SPD following a thorough public consultation process. Once adopted, it will form part of the Council's policy context and will be a material consideration when applications are being considered. It is also intended to be of help to householders who may wish to make changes to their properties under their Permitted Development rights.

1.2.4 The Council will work positively with applicants to secure good design solutions that will support the sustainability of the development proposal.

1.2.5 The content is split into five sections:

- **Section 1:** Introduction (this section);
- **Section 2:** Design and Context;
- **Section 3:** Built Form and Spaces;
- **Section 4:** Extensions and Alterations; and
- **Section 5:** Design and Access Statements.

1.2.6 **Section 2:** Design and Context, focuses on how development proposals should respond to their surroundings. This is relevant to all development proposals, for residential and commercial developments as well as for householder extensions and alterations.

1.2.7 **Section 3:** Built Form and Spaces, provides general design principles for buildings and spaces, and how to relate them together to create positive places. It also provides principles for the design of buildings, and for the associated requirements that need to be accommodated on plot, such as parking, servicing and amenity space. It also provides guidance on the relationships with neighbouring properties. These design principles apply to all forms of development, although the examples focus on residential development, the most common form of development in the Borough.

1.2.8 **Section 4:** Extensions and Alterations, provides design principles for the design of residential extensions and alterations to existing properties.

1.2.8 **Section 5:** Design and Access Statements, sets out the Council's expectations for Design and Access Statements where they are required to accompany a planning application.

1.3 How to use this document

1.3.1 This document is relevant to different types of development although not all sections are relevant to all proposals.

1.3.2 This document refers to 'designers' in a number of places. The design role is vital to securing good design and high quality development. In most cases, it should be carried out by the architect for a project, or another suitably experienced professional (for instance a masterplanner, on a large scale development). However, it should also help and guide local residents wishing to improve their home.

2 Responding to the Context

2.1 Key principle

2.1.1 A well designed development relates well to its surroundings. It should be integrated into its context and should respond positively to local character. Where appropriate, new development should also create new places with a positive character. It should also make a contribution towards environmental sustainability.

2.1.2 To achieve this, designers need to understand the site and its context.

2.2 Understanding the site and its context

2.2.1 **Principle: Good design starts from an understanding of the place, the local context and the site. Development proposals should be informed by a thorough analysis of the physical and policy context and character of the area as well as the specific conditions of the site. This should be summarised and the opportunities and constraints identified for pre-application discussion and to support application material. The steps include:**

- a site visit;
- site and context analysis;
- character appraisal; and
- identifying opportunities and constraints.

Site visit

2.2.2 Before starting to design, a visit to the site and its surroundings is absolutely essential. On the site visit, designers should identify local features and characteristics that may influence the design or technical approach, including site features (for instance trees), key views in and out of the site and technical issues (for instance drainage). In some cases a site visit will provide enough information. In others, technical surveys will be needed to feed into the design process.

Site and context analysis

2.2.3 As a minimum, designers should consider the issues set out below and, where relevant, include them in their site and context analysis. The table shown on the following page provides guidance on which issues are likely to be relevant to different scales of development proposal.

2.2.4 Designers will be expected to identify and analyse the range of issues relevant to their particular site and development proposal. The amount of detail required for each development proposal will depend on its size, the type of development and the complexity of the project.

Issues relevant to different scales of development

Design influences		Development scale
Scale	Relevant issues	Likely to be relevant to
Wider context	<ul style="list-style-type: none"> Strategic role and function of the site Settlement pattern Accessibility to facilities, services and public transport by all modes of transport Housing need and/ or market assessment 	<ul style="list-style-type: none"> Major development
Local context	<ul style="list-style-type: none"> Pattern of blocks, plot sizes and buildings Townscape character (see 2.2.5 below) Landscape character including open spaces, wildlife corridors and designations (SSSI, SPA etc) (see 2.2.5 below) Local mix of uses including community facilities Topography Views into and out of the site Movement pattern including all modes of transport Drainage Site allocations 	<ul style="list-style-type: none"> Major development Infill development
Local context for householders	<ul style="list-style-type: none"> Built heritage including conservation areas, listed buildings, registered parks and gardens, locally listed buildings Planning policy designations 	<ul style="list-style-type: none"> Major development Infill development Householder development

27

Design influences		Development scale
Scale	Relevant issues	Likely to be relevant to
Site features, characteristics and conditions	<ul style="list-style-type: none"> Site levels Buildings and structures Landscape including trees, hedgerows, ponds, etc Ecology Views into/within/across/ out of the site Heritage, including archaeology Flood risk and drainage Pollution including contamination Ground conditions Access for all modes of transport Utilities Microclimate Daylight/ sunlight Boundary conditions 	<ul style="list-style-type: none"> Major development Infill development Householder development

Character appraisal

2.2.5 To demonstrate an understanding of the existing character, designers should carry out an appraisal of the townscape and landscape character of the site and its local context.

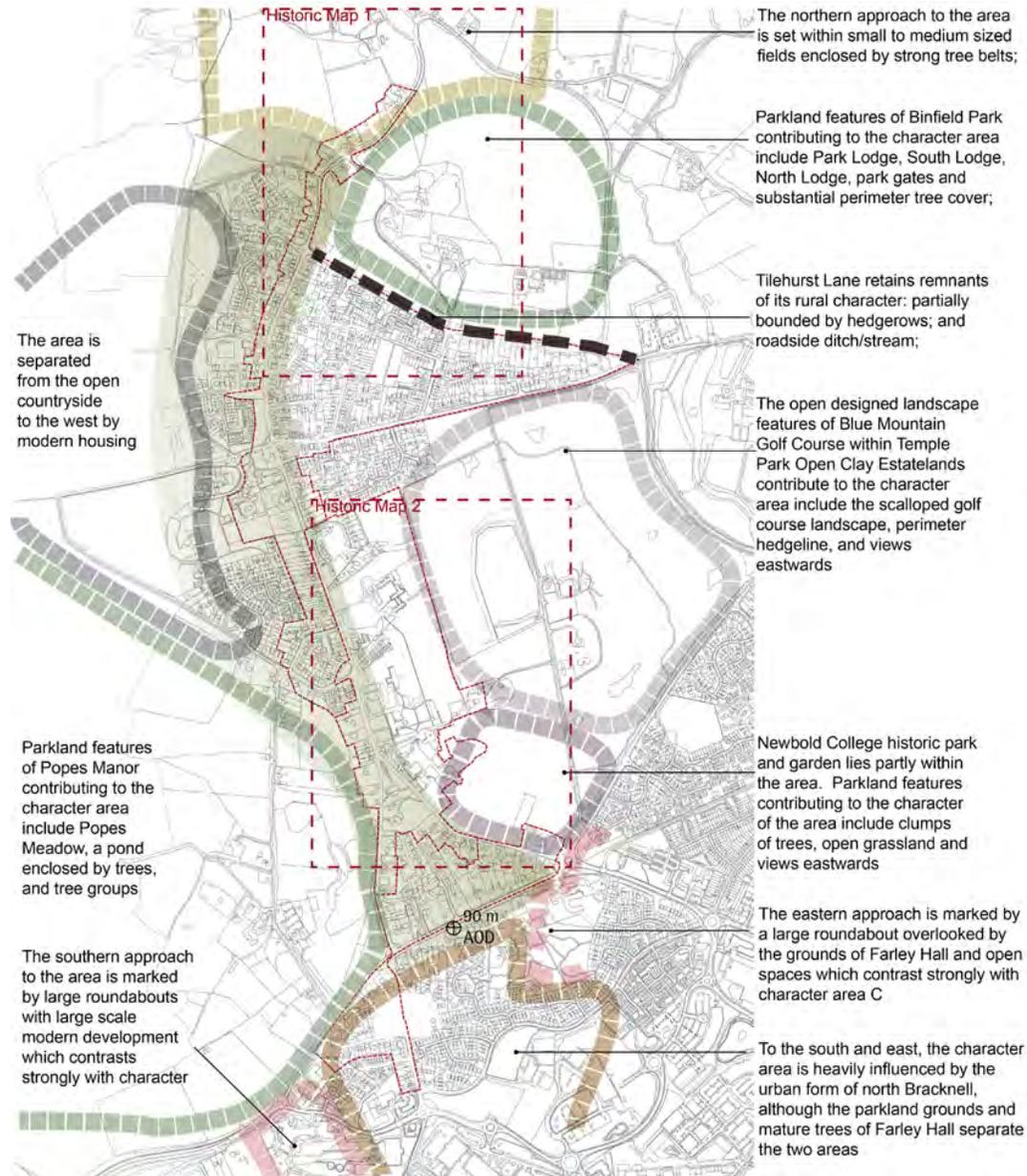
2.2.6 First check whether the site is within a Conservation Area or forms one of the Bracknell Forest Character Areas, as identified in the Bracknell Forest Character Area Assessments SPD. The Council has carried out an appraisal for each of these areas and this should be the starting point. However, it is likely that designers will need to carry out a detailed appraisal of the site in its surroundings to supplement the information that is already available. Heritage assets and their settings may also be present and consideration should be given to the impact of existing heritage assets and the setting of heritage assets.

■ Conservation Areas are statutory designations for areas of “special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance”. Bracknell Forest’s Conservation Areas can be found at:

<http://www.bracknell-forest.gov.uk/bfconservationareas>.

■ The Bracknell Forest Character Area Assessments SPD identifies and assesses areas with distinctive and positive character in the Borough. It makes recommendations for maintaining and enhancing the character of specific areas, including recommendations for future

Binfield and Popeswood Study Area, taken from Character Area Assessments SPD 2010



development proposals. It can be found at:
<http://www.bracknell-forest.gov.uk/spds>

2.2.7 The area to be assessed will depend upon the nature and scale of the development proposal. It may be at the level of the neighbourhood, the street, or the site together with neighbouring plots.

2.2.8 The character appraisal should identify and assess the positive and negative characteristics of the site and its immediate context.

2.2.9 The Bracknell Forest Character Area Assessments SPD and the Streetscene SPD together identify a number of elements to be assessed:

- landscape setting;
- townscape and built form;
- streetscene;
- width of street;
- boundary treatments;
- building line;
- plot sizes;
- building heights and sense of enclosure;
- landscaping – soft and hard; and
- parking solutions.

Identifying opportunities and constraints

2.2.10 Designers should identify the opportunities and constraints that affect the design approach to their site and should explain how these have influenced their development proposals. Positive opportunities for placemaking should be identified as well as constraints to development. There should be a clear link between the opportunities and constraints plan and the development proposals.

2.2.11 New development and associated landscape should retain, incorporate and enhance features that contribute towards the landscape character and biodiversity of the area. This includes elements such as:

- field patterns and lanes;
- landscape features, such as trees and hedgerows;
- wetlands and watercourses;
- typical species of vegetation; and
- characteristic local habitats.

Understanding the site and context – critical review	
Is there evidence of a visit to the site and context?	
Is there a site and context analysis that covers the appropriate issues?	
Is there a townscape and landscape character appraisal that identifies both positive and negative characteristics of the area?	
Is there a clear link between opportunities and constraints that have been identified and the development proposals?	

2.3 Integrating the site into its surroundings

2.3.1 **Principle:** It is important that proposals for new development, whatever their size, are well integrated into the existing context. This can be achieved in a number of ways, including:

- linking new routes and access points into the existing movement network;
- respecting existing desire lines and making connections to local destinations, such as schools, shopping and employment areas;
- relating well to the existing hierarchy of routes, in terms both of function and character, so the relative importance of routes is clear, to help people find their way around;
- using development blocks and/or plots that relate to the existing grain of development (i.e. the pattern or arrangement of built development and spaces) in terms of size and configuration; and
- responding to prevailing building heights, plot sizes, densities and degrees of variation in the local context.

2.3.2 The Streetscene SPD addresses these issues in more detail.

Integrating into the context – critical review	
Do the proposals create connections to existing streets, pedestrian and cycle paths and public transport stops?	
Have new connections been made, reflecting existing desire lines and creating routes to local destinations?	
Has a clear street hierarchy been established and do proposals support the existing street hierarchy?	
Do the development blocks and plots relate to the existing grain of development?	
Do building heights and densities respond to the prevailing pattern in the context?	

2.4 Placemaking

2.4.1 **Principle:** New development should exploit opportunities to create a positive sense of place that enhances the existing character of the site and local area whilst efficiently using land to meet housing need. This may include:

- incorporating existing positive site features into new development to provide continuity and create an instant sense of maturity;
- creating a sense of place that responds positively to the character of the local area in terms of urban design, architecture, landscape and public realm;
- creating new places with a positive character appropriate to their role and function within the wider area, e.g. a new neighbourhood centre or open space/ local park; and
- views and areas of historic interest and relevance.

2.4.2 For many aspects of design, the ‘right’ approach will depend on the site, the nature of the proposed development and the context. The sense of place and character of a development will depend upon a number of choices that a designer makes in relation to the elements included in section 3 of this guide. Where a choice may have a particular influence on the character of a development, this is highlighted in the relevant section.

2.4.3 Decisions made at this stage will contribute to creating cohesive communities providing facilities and ease of access for all age groups. This will ultimately assist with community pride and a real sense of place.

Placemaking – critical review	
Do the proposals incorporate existing positive site features into the new development?	
Have local characteristics influenced the design	
Do the proposals create new places with a positive character that is appropriate to their role and function?	



Positive integration of existing mature trees in The Parks, Bracknell and creating usable amenity for office workers

2.5 Sustainable Drainage Systems (SuDS)

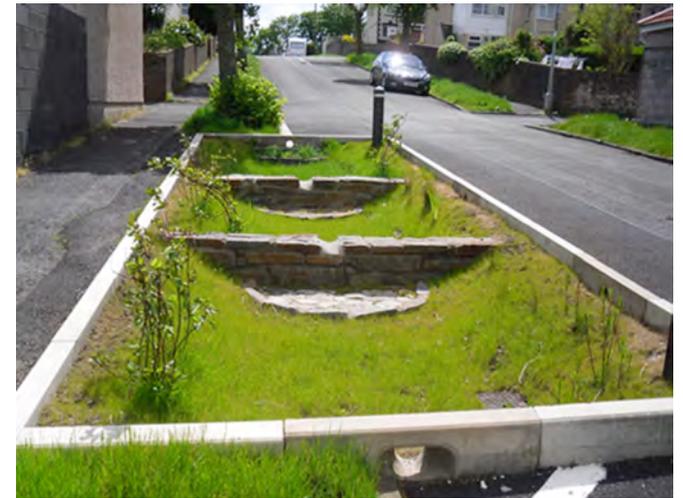
Principle: SuDS should be considered from the outset and be one of the key factors to inform development proposals, housing layouts and the public realm.

2.5.1 SuDS have been introduced to reduce the causes and impacts of flooding, remove pollutants from urban run-offs at source and combine water management with green spaces, enhancing the visual amenity of neighbourhoods, habitats for wildlife and, in some places, recreation areas. SuDS is the opposite to historic ways of dealing with surface water management and therefore piping water away from a site is no longer acceptable unless there is no other way of managing water where it falls.

2.5.2 Surface water drainage is a material consideration and all new development proposals are required to incorporate SuDS and use SuDS to inform layouts and how water will be accommodated on site. Experience tells us that dealing with water where it falls is actually a more cost effective approach for developers than traditional piping systems. This is in addition to the benefits for future residents with higher quality multi-functional public realm, visual amenity and space for wildlife to live alongside them. Consideration also needs to be given to the ongoing grounds maintenance and cleansing of SuDS as designs develop.

2.5.3 The Council is now the Lead Local Flood Authority (LLFA) and is a statutory consultee for all planning consultations. Drainage information is also required to validate planning applications. There are many sources of information and guidance on how to achieve successful SuDS. The following are examples:

- CIRIA guidance – The SuDS Manual.
- DEFRA – Non Statutory Technical Standards for Sustainable Drainage Systems.
- NHBC Foundation – A Simple Guide to Sustainable Drainage Systems for Housing.
- Surface Water Flood Maps – available from the Council or from www.flood-warning-information.service.gov.uk
- UKSUDS.com – includes tools for sizing attenuation volumes to replicate existing site conditions



2.5.4 Surface Water Flood Maps should be used to positively identify the potential for SuDS within development sites. As well providing an indication of ditches and potential off-site catchments draining through the site, the mapping also indicates any natural valleys and lower lying areas where water may naturally pond. This allows the designers to quickly identify suitable types of SuDS and their optimum locations at the start of the Masterplanning process. The mapping also indicates what degree of risk may be present from off-site sources, and whether allowances may need to be made for these flow routes within the layout. Through consideration of the site topography and natural flow paths at the outset of the planning process, the depths of SUDS features, and their associated land take will be kept to a minimum.

2.5.5 Outline applications should also include reference to the Surface Water Flood Maps and include a preliminary drainage strategy demonstrating how the masterplan/ application has accommodated the flow routes of water through the site. It should include an assessment of the degree of risk present and clearly indicate where water will flow post development. The outline application must demonstrate that the level of the outfall from the site has been considered and that sufficient space is present within the masterplan/application parameters to accommodate the required SUDS measures.

2.5.6 For full or reserved matters applications, applicants will need to demonstrate how guidance and technical standards are met, how water is dealt with on the site, design calculations to support the proposals, a detailed management strategy, exceedance routes and temporary drainage during construction.

Sustainable Drainage Systems – critical review	
Does the Drainage Strategy follow the principles of SuDS?	
Has sufficient information been supplied for the LLFA to assess?	
Has the layout or proposal clearly been informed by SuDS?	
How is the public realm used to accommodate water where it falls?	
Are there any foreseen management issues that are not addressed?	



2.6 Sustainability

2.6.1 **Principle: Proposals should contribute to the environmental sustainability of the development itself and of the local area where possible, including consideration of:**

- climate change mitigation and adaptation;
- sustainable construction;
- water efficiency; and
- the long term robustness of the development proposal, ie how it will perform as lifestyles and technologies change, for instance in terms of its flexibility and adaptability.

2.6.2 The NPPF has a presumption in favour of sustainable development, i.e. development that balances economic, social and environmental sustainability.

2.6.3 The Council has adopted a Sustainable Resource Management SPD, which sets targets and provides guidance on how to make development more environmentally friendly, based on the Code for Sustainable homes and BREEAM standards.

2.6.4 However, the Government has now withdrawn the Code for Sustainable Homes. For the time being the Sustainable Resource Management SPD is still in place and provides good design advice relating to housing layouts and such topic areas as microclimates, achieving water efficiencies, sustainable material choices and construction methods etc. However there are some limitations on its application in relation to some policy matters. Please contact the Planning section of the Environment, Culture and Communities department for more details. The Council is carrying out a review as part of the preparation of the emerging Comprehensive Local Plan.

2.6.5 The BREEAM standard for non-residential development still applies for commercial development.

Sustainability– critical review	
Do the proposals address climate change mitigation and adaptation?	
Do they incorporate a sustainable approach to construction?	
Do they include proposals for water efficiency?	
Will the development provide flexible and adaptable accommodation?	

3 Built Form and Spaces

3.1 Key principles

3.1.1 Well-designed developments compose buildings and spaces into a successful whole. This applies to a range of scales and includes the following elements:

- streets, blocks, open spaces and landscape;
- plots;
- frontages; and
- built form.

Primarily, development should respect and respond to the character of the surrounding area. However, in some locations development may need to seek to “resolve” or “repair” the urban environment by adopting innovative and efficient approaches to design.

3.2 Streets, blocks, open spaces and landscape

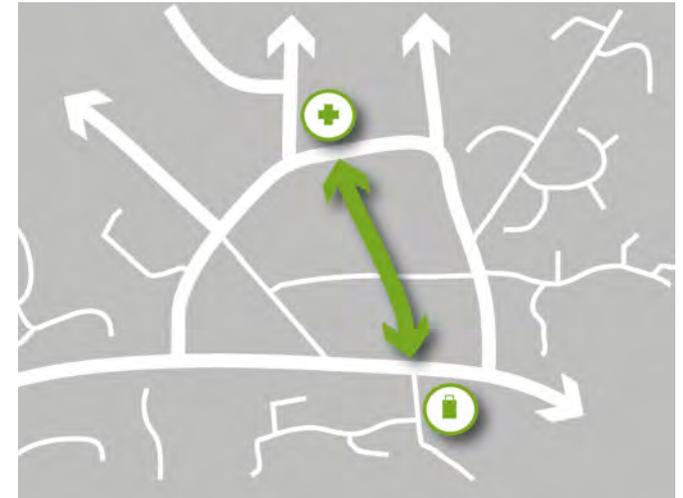
3.2.1 **Principle:** For large sites, the street network should define:

- a connected network of routes for all modes of transport;
- a clear hierarchy of routes, so people can find their way around; and
- a pattern of development blocks and open spaces that provides a basis for creating character and a distinctive identity for the development.

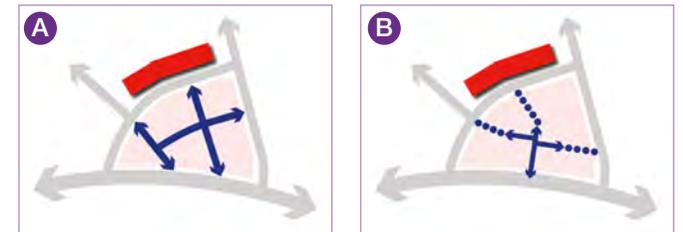
3.2.2 The Streetscene SPD provides further guidance for new developments and housing layouts.

Connectivity

3.2.3 Developments should create a connected network of routes through the site, preferably in the form of streets. These routes should be direct, convenient and attractive for people on foot and cyclists, as well as suitable for vehicles. Additionally, the new routes should create good connections to existing routes and facilities, such as footway/cycleways and bus stops.



New development should connect destinations and help people get to where they want to go.



- A** Make connections to local facilities and create an extension to the existing road network.
- B** Where vehicular links are not possible, pedestrian / cycle links should be provided.

Street hierarchy

3.2.4 A clear hierarchy of routes should be defined, based on consideration of how each street should be used, including: the relative amounts of pedestrian and vehicular traffic, parking, speed of vehicles, width of carriageway, and the use of the buildings adjoining the street.

3.2.5 The design of the movement network, the streets and open spaces, and the built form adjoining them should reinforce one another so that people can find their way around and understand the development.

3.2.6 A variety of street types helps to create variations in character in large scale developments.

35



Existing layout: The street hierarchy is incoherent, unsupported by street design, buildings or land uses.



Revised layout: The street hierarchy is improved by realigning the main route and improving junction arrangements, street treatments and the location of community uses.

Development blocks and open spaces

3.2.7 Principle: The pattern of blocks for built development and/ or open spaces should be based on a perimeter block structure that creates well-defined streets and open spaces. This form of development enables a clear distinction between the fronts and backs of buildings, a good sense of enclosure and active edges.

3.2.8 Each development block should be defined by street frontages and/ or open spaces and will be subdivided into a plot pattern. The block and/ or street space will need to accommodate parking and the appropriate private amenity space for residents.

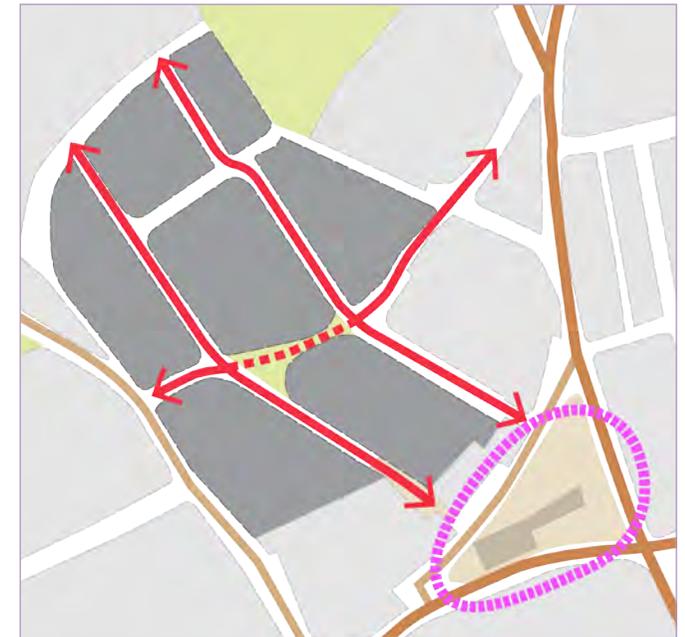
3.2.9 How a street is designed, and the parking strategy for how parking is accommodated within a block or the streetscene, will significantly affect its character and so will need careful consideration.

3.2.10 The size, shape and configuration of the development blocks, the spaces between the buildings, and open spaces all influence the form of development and its character, so need to be considered together with the mix of uses, the type of units and other matters such as parking.

3.2.11 All open spaces should have a clear function and should be located in a suitable position for that function. They should also be sited and designed to play a positive role as focal points in the development, whether to help create a sense of identity, or to bring existing and new communities together.

3.2.12 The pattern of streets, development blocks and open spaces will influence how people find their way around. Designers should consider potential views, both into and out of the development. Potential views within a new development are also important and the creation of focal points or local landmarks should be considered. Views within streetscenes should also be concluded (or terminated) positively (see section 3.7.3 below).

3.2.13 Active edges are created by buildings with entrances off the street and windows overlooking it. Entrances bring activity and animate the street. Windows create a sense of supervision. Both contribute to making the street feel safe and secure to use.



New development area has a well connected street network that links into existing local streets and surrounding destinations. It is based upon the historic street pattern but has transformed parts of it into pedestrian and cycle routes through small open spaces.

Landscape

3.2.14 Landscape plays an important role in much of the Borough, creating a strong context and character for built development, with significant parts of the area formerly being forested. Different parts of the Borough have a different landscape character, based on their soils and underlying geology.

3.2.15 The strategic approach to landscape should be integrated into the form of development from the earliest stage and not simply added in to a scheme that has already been designed.

3.2.16 The Streetscene SPD provides guidance on incorporating landscape and landscape character into new developments. The Character Area Assessments SPD identifies landscape characteristics within the defined character areas. The Council has also carried out Landscape Character Assessments which provide evidence for the emerging Local Plan. Please contact the Planning section of the Environment, Culture and Communities department for more details.

Streets, blocks and open spaces– critical review	
Do the proposals create a connected network of routes for all users?	
Do they define a clear hierarchy, based on both function and character, and with variation in large developments, so that people can find their way around?	
Is there a clear pattern of perimeter blocks with open spaces suitably positioned to perform the function and role identified for them?	
Is the pattern of streets, blocks and open spaces appropriate to the type of development being proposed and relevant to the character of the area, with a clear distinction between fronts and backs?	
Is the approach to landscape an integral part of the development proposal?	

3.3 Plots

3.3.1 Development blocks should be sub-divided into a series of plots for different buildings to be developed, or to break down the scale and impact of a large-scale development.

3.3.2 The pattern of plots and how they are developed affects how a development functions, the success of the plot and the character of the wider area. For instance wide fronted plots allow room for parking to be on-plot next to a house, whereas narrow fronted plots would need a different parking solution.

3.3.3 **Principle: Development plots should be large enough to accommodate the proposed built development and the requirements associated with it (such as amenity space, parking, servicing, waste and recycling collection) in an arrangement that is practical and attractive. They should be configured to make sure that new development relates well to its neighbours.**

3.3.4 Where a development is proposed on an existing plot, it should be of a form that responds positively to the existing character of the area. For instance, where there are existing large houses set in large plots, new large houses or a block of apartments are more likely to be able to respond to the existing character than a terrace of smaller houses.

3.3.5 See section 3.9 below for more detail on these issues.

Plots– critical review	
Are plots of a size and configuration to be able accommodate the requirements of the development?	
Do they relate to the pattern of plots in the surroundings?	

3.4 Frontages

3.4.1 **Principle:** The buildings that are set alongside a street should be considered and designed together as a group. Development should face onto the street to create a frontage. The two frontages together define and enclose the streetscene and establish an appropriate character for that particular street.

3.4.2 Successful frontages have many different elements that come together to create a pleasant whole. These are:

- building lines and set backs;
- continuity of built development;
- boundary treatments; and
- size of front gardens.

The Streetscene SPD provides detailed guidance for the design of streets.

3.4.3 **Principle:** Frontages should be designed to create a streetscene with a distinctive character that relates to the context of the area. In particular the relationships between existing building lines, set backs, landscaping and the continuity of the frontage should be considered carefully.

3.4.4 The Streetscene SPD sets out how the different elements can be combined to create a range of different characters that may be appropriate in different parts of the Borough.

3.4.5 In general, frontages with a positive character have some elements that are consistent or repeated. These create a framework for other elements to vary. So, for instance, where there is a strong landscape structure in front gardens and on boundaries, the building lines and the buildings themselves may vary without threatening the positive character. Or where there is a regular pattern of semi-detached houses with consistent set backs and spaces between them, the treatment of boundaries may vary.

3.4.6 Together the two frontages to a street will set the character for the street, so they should generally have common features to establish a degree of consistency between them.

3.4.7 Well designed frontages have:

- the fronts of buildings addressing them along their length;
- window openings that overlook the street;
- entrances activating the street;
- no rear elevations or flank walls onto them; and
- any garages being less prominent elements on the frontage than the associated housing.

Building lines and set backs

3.4.8 **Principle:** The building line is the line created by the main facade of buildings in relation to a street. The design approach to building lines should be justified and should relate to the existing building lines in the area. In particular, the building line for infill developments should follow the existing building line.

3.4.9 Streets with a positive character tend to have a distinctive building line. In most cases, this will be a consistent distance between the front of buildings and the street. However, in some cases, every building is set back a different distance from the street, in which case the variation is characteristic.

3.4.10 The set back of a building line from the street creates space for front gardens. See section 3.4.17 below for more detail.

Continuity of frontages

3.4.11 **Principle:** The continuity of built form is a measure of how built up the area is. Designers should make sure that the continuity of the frontage is appropriate to the context and local character and the nature of the development proposal.

3.4.12 A continuous frontage makes a street space feel more enclosed, which is likely to be appropriate to the character of an urban form of development, or a centre. Frontages with gaps between buildings are more appropriate to suburban or rural forms of development.

3.4.13 It is important that the degree of continuity suits both the type of development and the character that is proposed. For instance, large detached houses placed very close together are unlikely to create a successful character – the result will be neither urban nor suburban in character. In general, units with larger footprints need space around them, whereas those with smaller footprints are more appropriate to sit on smaller plots.

3.4.14 In some rural and existing suburban areas buildings are spaced far apart and there is no continuity of built frontage. In these cases, continuity is provided by the landscape and boundary treatments, which become the defining characteristic. Strong hedgerows and planting can tie an otherwise discontinuous built form together to create a well defined streetscene.

3.4.15 Topography influences the continuity of frontages. On a sloping site, designers should preferably create more continuous frontages parallel to the contours and use a more broken frontage perpendicular to the slope. Detached houses or short groups of houses can be designed to step up slopes more simply than longer terraces, in terms both of entry levels and roof forms.

Front gardens

3.4.16 **Principle:** The set back of buildings from the street should be designed positively to accommodate various requirements that may be associated with the development, as well as to contribute to the character of the development. For a residential development the set back should generally take the form of a front garden.

3.4.17 The depth of front gardens has an impact on the feeling of enclosure of the street and reinforces the street hierarchy and character. In a large scale development front gardens should vary in depth across the development, contributing to areas of different character, but they should be consistent in depth along any given street.

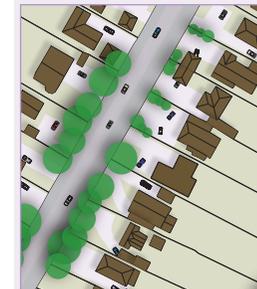
3.4.18 Front gardens should:

- be clearly defined as private space belonging to a particular dwelling;
- be rational in size and shape, avoiding awkward fence and boundary lines; and
- relate to the street hierarchy and volume of traffic in terms of treatment and depth, for instance houses set close to a shared surface street with narrow privacy strips are appropriate to a courtyard or mews street with no through movement.

3.4.19 Front gardens should generally include some elements of soft landscape as well as hard landscape, although in some locations hard surfaced privacy strips may be appropriate. They may also need to accommodate parking spaces, waste and recycling storage, utilities boxes, and projecting building elements, such as bays or porches. These elements all need to be designed into the space with some care, so they do not undermine the quality of the frontage.



Continuous frontage: Urban character associated with central urban or village locations - these help to create a high degree of enclosure.



Non-continuous frontage: Formal and regular building line with rhythm. Strong design feature associated with a suburban location.



Non-continuous informal frontage: Informal and irregular building line with building set in large plots. Associated with edge of settlement locations.



Local examples of varying frontages.

Boundary treatments

3.4.20 **Principle: Boundary treatments such as hedgerows, walls or railings should enclose private spaces in front of buildings.**

3.4.21 Generally boundary treatments to front gardens should allow some views between street and dwelling, so that the development overlooks the streetscene.

3.4.22 Private gardens should not back onto public spaces such as streets, footpaths or open spaces. Where the boundary of a property is clearly visible within the streetscene, a certain quality of boundary treatment will be expected - close boarded fences will not be acceptable in such situations.

3.4.23 Boundary treatments should:

- be consistent within each street and with the local character; and
- where possible and appropriate, use natural screens and hedges complementing the landscape design and enhance biodiversity, or brick walls to provide solid boundaries with a natural appearance and longevity, especially when the material is characteristic of the local area.

3.4.24 Where there is a conscious design decision to have no boundary treatment, then open plan privacy strips or front gardens should be consistently designed so that they contribute to the character of the street and a planting scheme should be provided for these private spaces.

Frontages – critical review

Do buildings overlook the street with main entrances creating activity and movement within the streetscene?

Is there a clear approach to the building line and is it justified in relation to the existing or new character of the street?

Is the degree of continuity of the frontage appropriate for the development proposal and the context?

Do the proposals handle any slopes well?

Does the development create front gardens of an appropriate depth, enclosed with suitable boundary treatments?

Does the design approach to these elements create a consistent character for the frontage and for the street as a whole, one that is appropriate to the development and its context?



Where front gardens are open and minimal, care is needed to ensure some space for planting is provided to visually soften the streetscene.



An example of consistent and high quality boundary treatment.



An example of a typical garden depth with railings that clearly define private space from public space.

3.5 Addressing edges

3.5.1 In certain locations, frontages should respond to their specific location and site conditions, as well as to the general principles outlined above. These include:

- settlement edges; and
- edges to open space.

3.5.2 **Principle: Development should generally be designed to face outward when it overlooks a route or open space, or there are existing houses facing towards the site boundary.**



In this example, dwellings front onto an open space, which provides a focal point in the layout.

Settlement edges

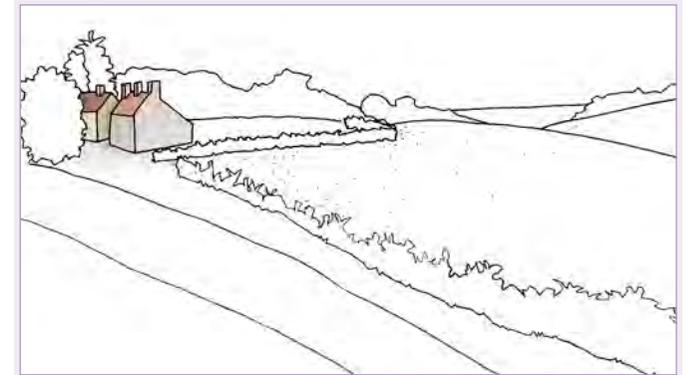
3.5.3 **Principle: Development on the edge of a settlement, on greenfield sites or in the countryside should respond to the unique character and setting of each site, taking into consideration a thorough understanding of the local pattern of settlement and its setting in the wider landscape.**

3.5.4 The location, siting and design of new development on the edge of settlements should be carefully designed to:

- create an edge to the built up area that relates to the local development and landscape pattern; and
- incorporate soft landscape to soften the edge of settlements and to help integrate new housing into its rural setting.

3.5.5 New development and associated landscape should retain, incorporate and enhance features that contribute towards the landscape character and biodiversity of the area wherever possible. This includes elements such as:

- field patterns and lanes;
- landscape features, such as trees and hedgerows;
- wetlands and watercourses;
- typical species of vegetation; and
- characteristic local habitats.



Settlement edges, views towards them as well as from them should be carefully considered and respond to local characteristics.

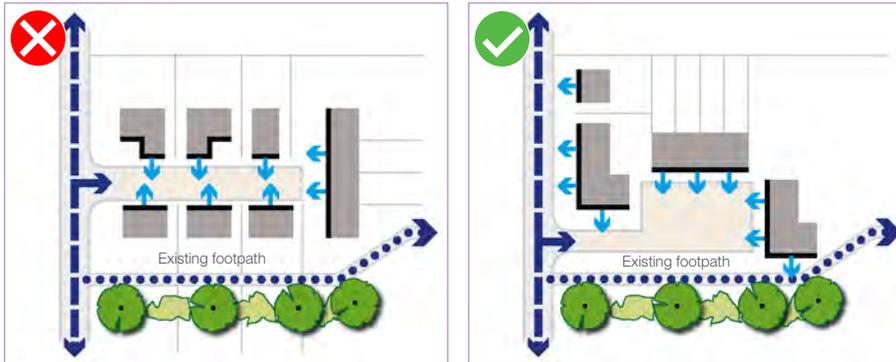
Edges to existing open spaces and routes

3.5.6 **Principle:** Development should face outwards onto all existing and proposed open spaces and routes, and provide active frontages to animate and overlook them, particularly where there are existing houses facing towards the site boundary.

Addressing edges – critical review

Does the development create a settlement edge that responds to the character of other edges, and it is softened by landscape?

Does it face outwards to animate and overlook open spaces and routes?



Where development lies adjacent to existing pedestrian routes, it must help to improve their quality and pedestrian safety.



Sketch illustrating how buildings can successfully provide overlooking and enclosure to an open space.



The sketch illustrates the idea for an informal character that relates well to the homes on the other side of the road.

3.6 Backland development

3.6.1 Some applications for development relate to sites that are located behind street frontage properties and so only partially visible from the street. These sites are known as backland sites.

3.6.2 **Principle: All backland development should be subordinate, i.e. it should occupy a minor proportion of the block in which it is sited; should be designed to the highest standards and should have a positive a legible entrance**

3.6.3 Backland development should:

- not harm the existing character of the local area;
- relate positively to the existing layout and existing urban form;
- create a positive and legible entrance to the backland site;
- maintain the quality of environment for existing residents;
- create a satisfactory living environment for the new home owners and existing surrounding properties;
- relate to a site of sufficient size and suitable shape to accommodate the number of dwellings proposed when compared to the existing grain of development in the area, together with their external space, access and parking requirements;
- not be taller than the existing buildings nor be highly visible from the main street frontage;

- be accessible without harming the character of the existing street frontage, and with no loss of important features, whether these are existing buildings, or trees and planting between existing buildings; and
- contribute to the public realm, where there is more than one dwelling proposed, by creating public streets and/or courtyard spaces that are not designed solely around technical highways requirements.

Backland development – critical review

Is backland development subservient to the block that contains it and is it designed to the highest standards?	
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Houses should be arranged to face each other across a road or space.

3.7 Built form

3.7.1 **Principle:** The design of the built form should be specific to its location and role within the proposed development and the context. The height, shape and form of buildings should be considered at the scale of the street frontage and the street as a whole, in terms of how they contribute to the streetscene and create character.

Building heights

3.7.2 **Principle:** The height of buildings should respond to a number of factors:

- the existing heights and degree of variation in height in the local context;
- the scale and importance of the space that the building will define or enclose;
- its position in the street hierarchy;
- the position of the building line in relation to the street;
- whether it is a focal point or landmark location in the development;
- the impact on the setting of any heritage assets or views; and
- the density of the development.

3.7.3 Within large developments taller buildings should be positioned in strategic locations to help people find their way around the development. These may include centres, focal points, landmark locations, the gateways or entrances to the development, and along main streets.

Key buildings – corners, landmarks and focal points

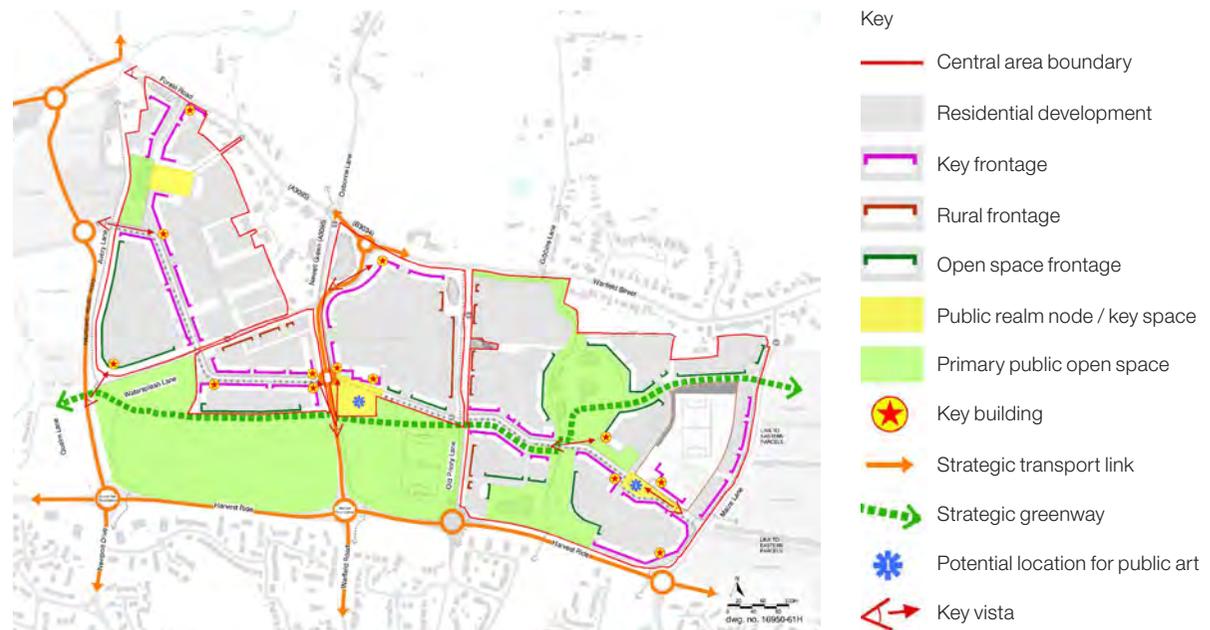
3.7.4 **Principle:** Key buildings are prominent because of their siting – they may terminate views along key streets, or define and enclose focal points or open spaces, or they may mark key decision points for navigating around a development. These buildings should be designed to reflect the importance of their role in the development.

3.7.5 In some (but not all) cases, key buildings should be taller than the buildings around them. Key buildings may also stand out because of their form (including at roof level), the design of their elevations, or a degree of contrast between them and adjoining buildings, for instance in terms of materials. The extent to which they should be distinguished from their surroundings will vary from situation to situation.

3.7.6 All key buildings should be designed and built to the highest quality, as they are the most prominent elements of the development and so must be special.

3.7.7 The Streetscene SPD identifies that buildings on corners should be designed to respond to their position in the layout. Generally they should have two front elevations with windows to habitable rooms on each. In prominent locations, it will also be appropriate to design them as high quality landmark buildings that fit within the character of the area.

3.7.8 Where a new building is proposed in an established context, then it should not block, compete or distract from an important view towards an existing landmark building.



Key buildings and focal points should be carefully considered and clearly detailed on masterplans and layout proposals. Image courtesy of Barton Willmore.

3.7.9 Important vistas should be terminated with buildings of an appropriate scale, massing and quality of design. Buildings that are visible at the end of a street/road have the function of ‘concluding’ or ‘terminating’ the view. The form of the building or group (including its roof) should be coherent at a distance, and its elevations (including the pattern of openings and the combination of materials) should be designed to have a formality that is appropriate to the vista. A symmetrical composition is one way to create a suitable scale and formality.

3.7.10 Groups of more than one building may also be used to enclose and define focal points within a development—for example buildings around a public square, or an open space.

3.7.11 When designing groups of buildings in key locations, designers should:

- meet the expectations of their location and visual prominence;
- follow an overall design concept for the group, including details, features and materials;
- consider the composition as a whole in terms of harmony, balance, symmetry and rhythm – elevations, 3D and axonometric drawings of key building groups should be provided to test these compositions; and
- use high quality materials effectively, and detail to create impact.

Composition of buildings

3.7.12 Principle: Compose buildings as three dimensional forms in groups, so that the relationships between them (the roof forms in particular) are specifically designed to create an attractive frontage when viewed from all directions.

3.7.13 This is particularly important for residential developments, where different house types may be grouped and arranged in different ways to suit the street network in different parts of the site. Small changes to the position of dwellings in the plan form of units can have a bigger impact upon the resulting form of the development.

3.7.14 Apartment blocks may take different forms depending upon the location, context, and local character. Their layout and plan form should be designed to respond to these factors as well as to provide high quality homes. For instance, a deep plan apartment building may introduce a bulky built form that does not relate well to an established context, whereas a shallower plan may relate more positively to its surroundings. Height is also an important consideration and should relate to the character of the area and the development surrounding the block. Apartments should also be placed on plots where a good balance between the built form, parking and usable amenity space can be achieved. (See section 3.9 below).

Built form – critical review	
Do building heights relate to their position in the development and the context?	
Are key buildings appropriate to their siting and designed to the highest quality?	
Have buildings been designed successfully as groups and is this demonstrated in three dimensional drawings?	
Is the form of any apartment blocks appropriate for the context and local character of the area?	

3.8 Building design

3.8.1 **Principle: Design new buildings with a coherent design approach that influences the whole building or development, from its form to the elevations, including the use of materials and detailing, whatever the architectural style may be.**

3.8.2 The Council's Core Strategy Policy CS7 Design specifically encourages innovative architecture. Where a contemporary approach is adopted then the proportions of the form and elevations and the quality of materials and detailing will be of particular importance. Designers will need to be able to explain how their design approach is appropriate to the context and local character as well as to the client's brief for the site.

3.8.3 Generally, design buildings to reflect some of the attractive qualities of the local form of housing, for example in terms of scale and proportion of elevations.

3.8.4 If a traditional approach is to be followed then the design of a building should correctly use traditional proportions and details and a similar quality of materials to the source for its inspiration.

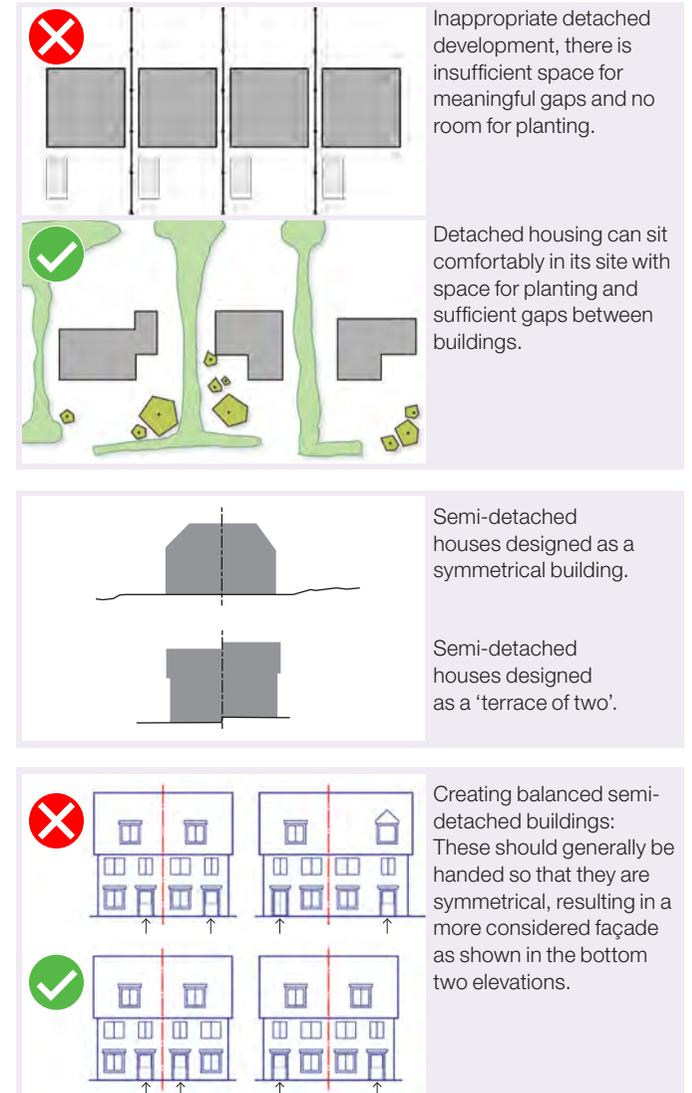
Roofs

3.8.5 The form of new buildings, including roofs, should relate well to those found in the local context. This may include:

- how forms are orientated, with ridges parallel or perpendicular to the street with either eaves or gables on the building frontage;
- the roof type and pitch, for instance whether it is a hipped roof or has gables;
- the scale and position on the roof of gables, dormers or mansard roofs;
- projecting elements, such as bays or porches; and
- consider how the roofscape will be viewed from higher levels or longer distances, in particular where development is located in undulating landscape, on hillsides and ridge lines.

3.8.6 Generally, in new development, design buildings so that their roofs:

- have ridge lines parallel to the longer side of the building or building block, creating buildings that are better proportioned and with a less dominating roof;
- are simple and uncomplicated, avoiding difficult and unnecessary detailing;
- can be continuous, avoiding unnecessary stepping and staggering of the building line, as this looks unattractive along the street and makes the verge details very prominent; and
- relate well to the existing topography.

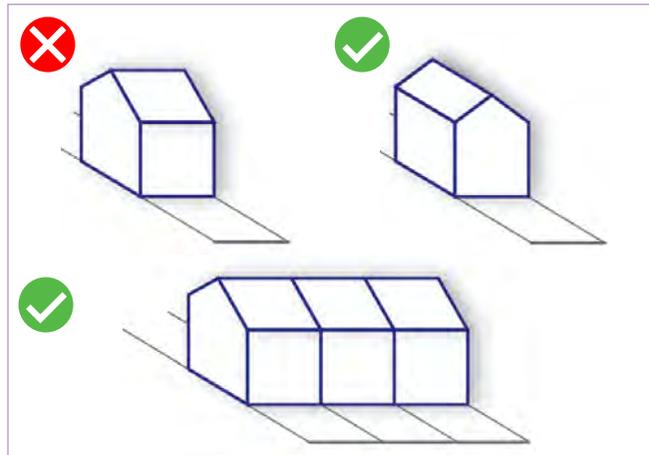


3.8.7 Gables have a stronger presence in the streetscene than roofs with eaves, even when the buildings are the same height. Gables can be used where a key building is required, for instance on corners to mark the presence of a junction. However, where they are sited on the street frontage it is important that they are designed with care, to be well proportioned, and with openings at ground floor level to create an active frontage in the streetscene.

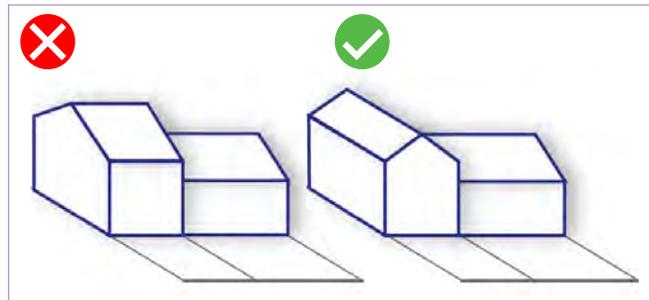
3.8.8 Roof pitches affect the character of a development. Traditional buildings generally have steeply pitched roofs with a narrow span, also with chimneys. New development is often deeper in plan than existing buildings. In an existing context, roof forms will need to be designed with care so that the result is not much taller or more bulky than the surrounding buildings.

3.8.9 Mansard roofs should be smaller than the building they span, so that they are set behind a parapet, and do not overhang the walls of the building at any point.

3.8.10 Dormer windows may either take the form of small gables on the line of the façade or should be be inset from the eaves line. They should be designed in three dimensions to make sure their position and proportions relate well to the roof and the building as a whole.



Ridge lines parallel to the longer side of the building are better proportioned.



Where house types of different depth are combined with each other we have to take particular care of the roof forms. Ridge lines that are parallel but not of similar height or in a continuous line create awkwardly shaped roofs and details. It can help to change the orientation of the roof to create a better design.

Elevations

3.8.11 Design elevations to:

- respond to the local context;
- be well balanced;
- follow a consistent design approach/ architectural style;
- reflect their position, i.e. elevations fronting the street must be designed as a welcoming frontage; and
- respond to their aspect, for instance with larger openings on the south side of the building.

3.8.12 The proportions of the windows and their positioning within the overall elevation are important to the quality of the design.

3.8.13 The style of window should relate well to the proportions of the opening.

3.8.14 All entrances should be from the street frontage. Apartment blocks may also have a secondary entrance from parking areas. It is important to provide independent access to all ground floor flats facing onto streets to create activity and movement within streetscenes.

Windows and doors



Random sizing and placement of windows attempts to create a frontage, but lacks any sense of proportion and composition.



Semi-detached building with a clear primary frontage and secondary frontage, each entrance positively addresses both the green and the street.



The front of the building is clearly oriented towards the street with a few windows facing onto the car park.

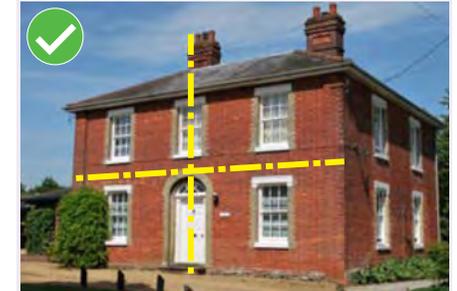


Clear and consistent placement of windows and doorways creates a positive street scene.

Elevation



Building of three townhouses sets out to create symmetry without following through in the design of the facade.



Well proportioned building with formal symmetry.

Materials



In these two examples the change in material appears random and adds unnecessary complications.

An elevation should contribute towards creating a positive street environment. The elevations of groups of houses should be considered as a whole in order to create a positive street-scale, in terms of proportion, materials, roofing and the placement of windows.

Materials and details

3.8.15 Generally, changes in material should relate to the form of the building and should have a clearly identifiable role in its design.

3.8.16 In traditional buildings, generally a change of material is associated with a set back or projection rather than being on a flush façade. Where designers are adopting a traditional approach, it is important to make sure that the design includes the modelling that is associated with traditional buildings.

3.8.17 A change in materials, if well designed, can help to articulate a building form and elevation and relate it to the scale of its context. However, it cannot successfully overcome the problems of a form that is too bulky for its context, or an elevation that is not well proportioned.

3.8.18 Design quality can be achieved through simple, well proportioned forms and elevations with limited decoration, using high quality materials and detailing.

3.8.19 Where materials are used to reflect traditional building forms and vernacular architecture, they should be real, rather than 'stick-on' features. For instance, chimneys should be genuine and relate to fireplaces.

3.8.20 Plant, for instance air conditioning units, or lift overruns, should be enclosed within designed structures and not be visible from the streetscene.

Building design – critical review	
Is there a coherent design approach to the building or buildings?	
Are key buildings designed to be appropriate to their siting and of the highest quality?	
Are the roof forms well designed and appropriate to their location and role in the development? How will they be viewed from the immediate streetscenes and in more distant views? Has the topography and site levels been considered?	
Are elevations well proportioned, appropriate to their siting, and coherent in their architectural style?	
Are high quality materials proposed and do they have a clear role in the design?	

3.9 Other residential requirements

3.9.1 **Principle:** Site dwellings so that all of their associated requirements, including outdoor space, parking and waste and recycling storage/ collection, can also be arranged appropriately within a plot, and function well for the end user. The development, as a whole, should also relate well to neighbouring properties and its surroundings.

Outdoor space

3.9.2 **Principle:** All new dwellings should have easy access to usable outdoor space (private or communal).

3.9.3 All gardens should be able to accommodate activities such as playing, drying clothes, cycle and waste and recycling storage.

3.9.4 The sizes of private gardens should be proportionate to the size of the dwelling, the potential number of occupants and the location of the development. Generally in town centres or urban areas, people have a lower expectation for garden size, compared with suburban or rural areas. Therefore garden sizes should vary according to the context.

3.9.5 External access to private gardens at least 1 metre wide should be provided for each unit, unless incompatible with local character.

3.9.6 All gardens, terraces and balconies should receive direct sunlight for at least part of the day at all times of the year. For this reason, areas that are fully shaded by tree canopies are not suitable for private or communal outdoor space. This applies to private or communal gardens for apartment blocks as well as to houses.

3.9.7 Cycle and waste and recycling storage in gardens should be accessible through the garden and the levels fully considered. Steps leading to waste and recycling collection areas are not acceptable.

3.9.8 Where a block of apartments is proposed, a careful balance is needed between the building footprint, its position on the plot in response to local character, parking provision and usable open space for residents.

3.9.9 Wherever possible, upper floor inhabitants of apartments should have access to a communal garden area, a communal or private roof terrace, or a private balcony.

3.9.10 Careful consideration will be given to issues of overlooking and privacy where balconies are proposed. The design of balustrades should balance the benefits of allowing light into the space against those of providing a visual screen. North facing balconies are unlikely to receive adequate sunlight and should be avoided.



Balconies and roof terraces can provide amenity space for people living in urban areas or in flats.

Privacy

3.9.11 Principle: All development should be arranged on plots to achieve reasonable levels of privacy for the inhabitants and for residents of neighbouring buildings.

3.9.12 Reasonable levels of privacy can be achieved by considering the distance between windows on different plots.

3.9.13 For two storey houses a minimum back to back distance of 22m between facing windows is accepted as providing a reasonable degree of privacy for the occupants of both dwellings. With a building(s) with windows above first-floor level, a back-to-back separation of no less than 9m is considered reasonable. As storeys rise additional separation distances may be necessary to mitigate against overlooking, overshadowing and overbearing impacts. In addition to providing adequate back-to-back separation, overlooking impacts can be mitigated by oblique siting relationships, where within the building habitable rooms are located, window design (e.g. use of obscure glazing for non-habitable rooms, high-level windows and rooflights) and screening such as outbuildings or vegetation. In applying these separation distances the impacts of levels differences on sloping sites will also be taken into account.

3.9.14 Blocks of flats do not necessarily have private 'backs' the way most houses do. In considering siting relationships between blocks of flats a minimum distance between facing habitable windows of 22m will be sought to avoid unacceptable levels of overlooking. However, each case will be considered on its own merits and it being demonstrated that a development proposal adheres to the additional guidance to safeguard residential amenity as set out in section 3.9 of this SPD.

3.9.15 Generally a distance of 12m between windows on the street side of dwellings is accepted as providing a reasonable degree of privacy to the occupants of both buildings. This distance is likely to be the minimum required to accommodate the carriageway, footway(s), services, and privacy strips or front gardens.

3.9.16 Where the building line is close to the street, a reasonable degree of privacy can be achieved through one or more of:

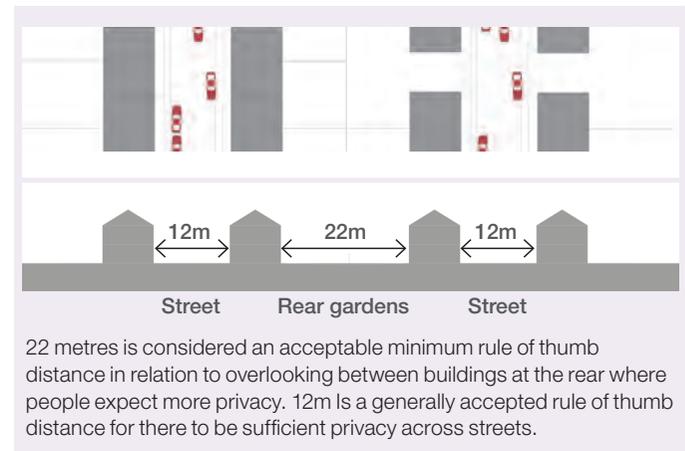
- a small planted privacy strip;
- the internal planning of accommodation, such as kitchen facing the street and bedrooms at the rear;
- a boundary treatment that creates some degree of screening, for instance a hedgerow; and
- vertically proportioned windows that are not too large in size.

3.9.17 Ground floor residential accommodation will feel more overlooked in mixed use areas than in a residential area, so may require all of the above measures to create a reasonable level of privacy.

3.9.18 On a sloping site, accommodation that is raised above the level of pedestrians will feel private, whereas accommodation below the level of pedestrians will feel overlooked. Designers should consider carefully the relationship of routes to dwellings to achieve a reasonable level of privacy for all residents whilst maintaining accessibility for all.



The careful orientation of terraces and placement of windows can ensure that both privacy and high density is achieved.



Relationship to neighbouring properties/ surroundings

3.9.19 **Principle:** New development should be sited and designed to minimise any potential impacts on neighbouring properties and/or its surroundings.

3.9.20 New development should make sure that neighbouring properties continue to receive adequate levels of sunlight and daylight and that new development is not unduly overbearing.

3.9.21 The appropriate distance from an apartment block to on-site assets such as trees, or to neighbouring properties, and between different buildings that form part of the development, should be governed by:

- sunlight and daylight considerations, so that each dwelling has some sunshine in its living spaces for part of the day, and habitable room windows should be assessed in accordance with BRE standards; and
- how the blocks enclose the space to create attractive places that are comfortable to use, whether these are communal outdoor spaces or parking areas.

3.9.22 The Streetscene SPD provides guidance on enclosing street and other spaces.

3.9.23 New development of more than two storeys will generally need a degree of separation from a boundary with the garden of an existing property.

This is particularly important for new apartment blocks and commercial/office accommodation, where planting may also be required to soften the impact.

Parking

3.9.24 **Principle:** Parking should be accommodated within the development in convenient positions, to encourage people to use the designated locations.

3.9.25 The Parking Standards SPD sets out the required levels of car parking for new development. The Streetscene SPD provides detailed guidance on how parking within the streetscene can affect character.

3.9.26 Parking for houses should be:

- sited so that it does not dominate the streetscene or development;
- designed as positive and attractive spaces and incorporate planting where appropriate to soften parking areas;
- conveniently located for the property it serves providing a safe and easily accessible route;
- garages should generally be set behind the building line or positioned so as not to be visually dominant within streetscenes; and
- designed to contribute to a sustainable drainage system.

3.9.27 Space and provision should be made for charging points for electric vehicles, either on plot or within communal parking courts.

3.9.28 Where a block of apartments is proposed, parking should ideally be located underground in a basement. Where this is not a viable option, parking should be integrated into the landscape around the building.

3.9.29 The Streetscene SPD and Parking Standards SPD provide detailed guidance on parking layouts, design and the level of provision required.



Example of well integrated car parking fronting onto a public space, including an example of a flat over garage (top).

Waste and recycling storage/collection

3.9.30 Principle: Waste and recycling storage should be designed into the development in convenient positions both for collection and to encourage people to use them.

3.9.31 Generally for houses, external waste and recycling storage should be provided in private gardens, to the rear of the property.

3.9.32 For apartment blocks, waste and recycling storage areas should ideally be incorporated into the ground floor layouts, integral to the building. However, where an external store is necessary, this should be sensitively designed and located where it is not be highly visible within the streetscene, but still within the required carry distances for both residents and waste and recycling collectors. As new Waste Management technologies are developing, consideration should be given to providing up to date ways of dealing with waste and its collection for dwellings and commercial premises. Suitable provision will therefore need to be approved by the Council's Waste Management team.

3.9.33 The Streetscene SPD provides detailed guidance on waste and recycling stores and collection, including for blocks of apartments.

Other residential requirements – critical review

Does the development provide usable outdoor space for all dwellings with sunlight for part of the day?

Is there a reasonable level of privacy between the new development and existing properties and for the inhabitants of the new development?

Is parking well designed and convenient?

Is waste and recycling storage well designed and convenient?



Below: Example of well considered storage design with robust, sturdy waterproof materials that compliment architecture.

4 Extensions and Alterations

4.1 Introduction

4.1.1 Extensions and alterations to houses do not always need planning permission since Permitted Development rights, a national grant of planning permission, allows certain building works to be carried out without having to make a planning application.

4.1.2 The exercise of Permitted Development rights is subject to conditions and limitations (for example limits on height, size or location etc.) to control the impact of a development and to protect local amenity. Please contact the Planning section of Environment, Culture and Communities for more information or refer to the Planning Portal at

https://www.planningportal.co.uk/info/200125/do_you_used_permission.

4.1.3 It is important to note that extensions or external alterations to apartments do not, in general, have Permitted Development rights and there are a range of exclusions which apply to protected areas, such as a Conservation Areas.

4.1.4 This section of the Design SPD provides guidance for designing extensions and alterations to houses that are not Listed Buildings or within Conservation Areas. Proposal for extensions and alterations in Conservation Areas or on a Listed Building should be discussed with the planning section at an early stage to identify whether or not permission will be required.

4.1.5 Many residential areas in the Borough have a distinctive and attractive character, which is created by the combination of buildings and landscape. This helps to make each place a unique and attractive place to live, somewhere that people feel they belong. In most cases, this character is not something that will result in a formal designation such as a Conservation Area but, nevertheless, it is important locally.

4.1.6 Over time, lifestyles change and people use their homes differently. Alterations or extensions allow homes to be adapted so that people can continue to live in their local area.

4.1.7 Each alteration or extension, in itself, makes a small change to an area and to its character. However, many such alterations and extensions can erode the attractive qualities of a house, the residential environment for inhabitants and neighbours, and can undermine the character of the area.

4.1.8 However, if well designed, extensions and alterations can relate well to the home, the neighbouring properties and the character of the area.

4.2 General guidance

4.2.1 In addition to the guidance given in this section, guidance is also given in chapter 3 of this document on issues of separation and overlooking of neighbouring properties which will also be relevant and should be considered. The design of an extension or alterations to a property should start from:

- the original design of the building in its plot; and
- the character of the street or area.

4.2.2 Extensions or alterations should respond to the scale, proportions and design of the original building. This may include:

- the shape of the building, in particular its roof, and original features such as bay windows, porches, dormers or chimneys; and
- the relationship with neighbouring properties, including the building line, the roof pitch and slope, the topography and the aspect of each house.

4.2.3 Extensions or alterations may adopt a design approach that integrates the proposal into the design of the original building, or they may adopt a contemporary design approach that complements its design. In both cases, the proposal must be considered together with the original building, so that it creates a coherent and well-designed whole.

4.2.4 The Council's Core Strategy Policy CS7 specifically encourages innovative architecture. The Council will therefore welcome modern design using contemporary materials provided it is high quality and appropriate to its context. A high quality, contemporary design can help to improve the environmental sustainability of a property and, at the same time, enhance the appearance of a building.

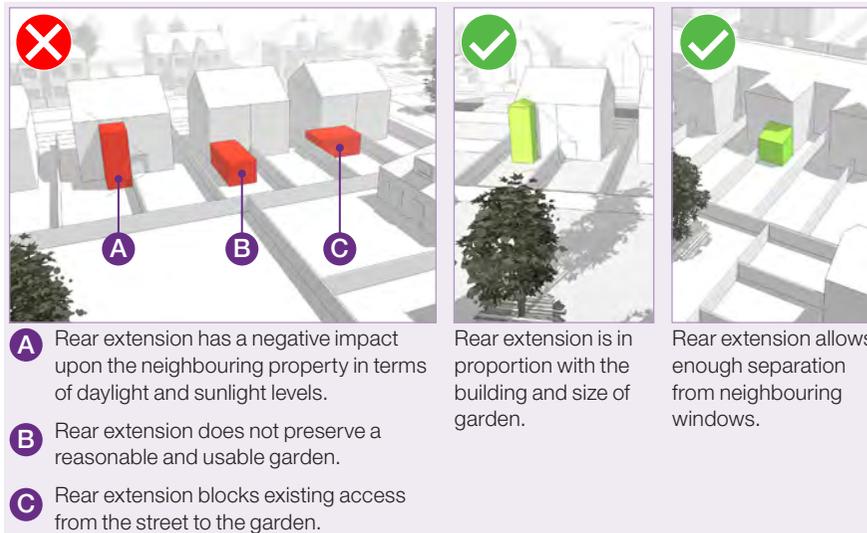
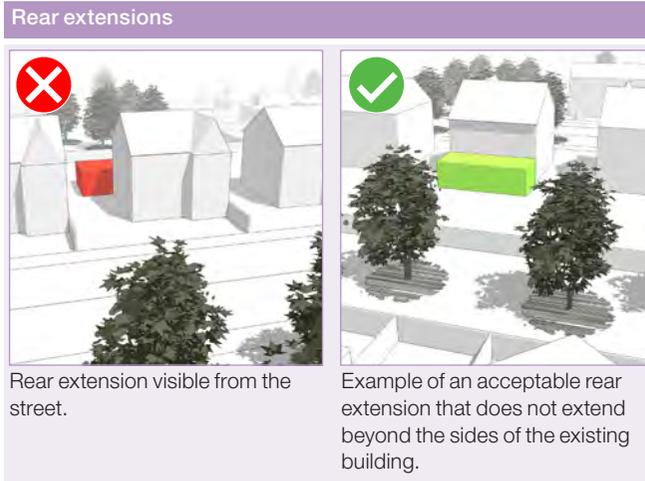
4.2.5 Where an innovative architectural approach is proposed, then designers should provide a rationale for their design approach, including where departing from any of the detailed design guidance below.

4.3 Rear extensions

4.3.1 Rear extensions should maintain the quality of residential environment, should relate well to neighbouring buildings and should generally not be visible from the street.

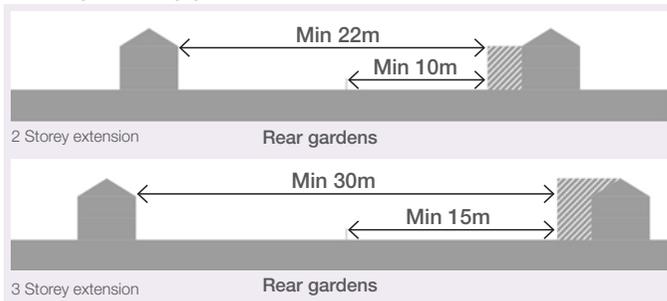
4.3.2 Rear extensions should retain a reasonable living environment for the property being extended, by:

- preserving a back garden of a reasonable size, appropriate for the potential number of occupants of the house, and able to accommodate activities such as playing, drying clothes, cycle and waste and recycling storage;
- being set behind the original building, and not projecting beyond it at the sides;
- maintaining an external access to the garden;
- being subordinate to the original building in height, with eaves height no taller than the original eaves height;
- following the style of the original building, or complementing it with a high quality modern addition;
- ensuring that the roof form is well proportioned and does not alter or interfere with the main roof form; and
- being appropriate in size to the buildings, gardens and plots of both the original and neighbouring properties.

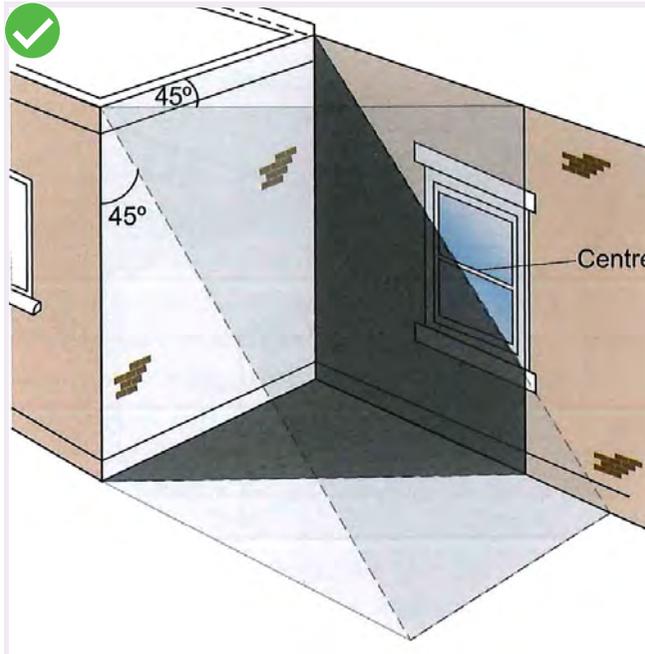


4.3.3 Rear extensions should maintain the quality of environment for neighbours, by:

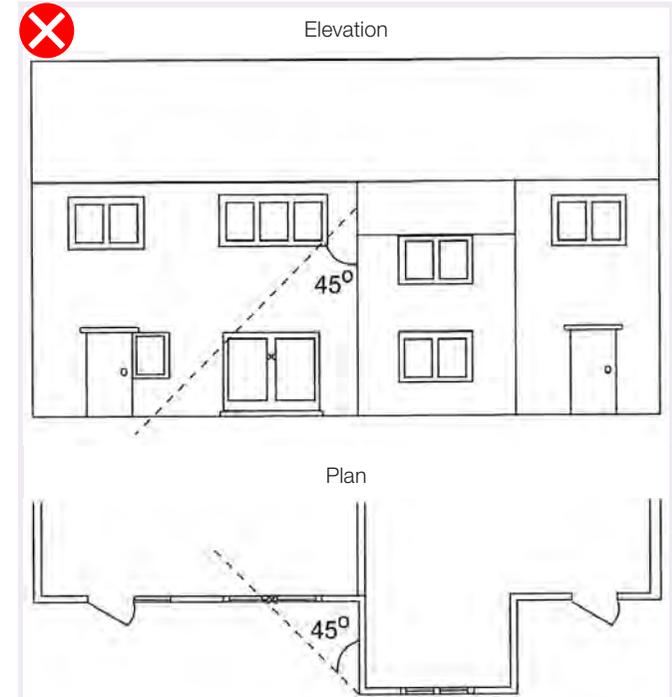
- ensuring reasonable levels of daylight and sunlight to the habitable rooms in adjoining properties in accordance with Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice Second Edition 2011 BRE or subsequent updates;
- the 45 degree rule to check maintaining daylight and sunlight levels (see diagram opposite); where side facing habitable room windows maybe affected, use the 25 degree rule;
- positioning of windows to minimize any potential overlooking of the neighbouring property or garden;
- ensuring in a 2 storey extension that first floor windows do not overlook an adjoining boundary less than 10m away or bring properties closer than 22m;
- ensuring that a new window at second floor level, including a dormer, is no less than 30m from a neighbouring property and 15m from a boundary where it directly overlooks that property's boundary;
- where windows are required in side elevations, ensuring that any at first floor level use obscure glazing with opening fanlights only; and
- setting the extension away from the property boundary so as to avoid any dramatic change in scale in relation to the neighbouring garden.



The '45 degree rule'



Application of the 45 degree approach to a domestic extension. A significant amount of light is likely to be blocked if the centre of the window lies within the 45 degree angle on both plan and elevation. Here the centre of the window lies outside the 45 degree angle on elevation, both impact of the extension is likely to be small.
 Taken from *Site Layout Planning for Daylight and Sunlight A Guide to Good Practice Second Edition 2011 BRE Press*.



Here the extension has a pitched roof, so a point halfway along the roof slope is used as the start of the 45 degree line on the elevation. The affected window is a patio door, so a point 1.6 metres above the ground has been taken. This point is within the 45 degree angles on both plan and elevation, so a significant reduction of light is likely.
 Taken from *Site Layout Planning for Daylight and Sunlight A Guide to Good Practice Second Edition 2011 BRE Press*.

4.4 Rear infill extensions

4.4.1 Rear infill extensions are popular in traditional terraces of houses, where there is an L-shaped building with a side return. The side return is generally a narrow and relatively dark alley to the garden. Filling in the side return offers owners the opportunity to create open plan kitchen and living areas at the rear of their properties.

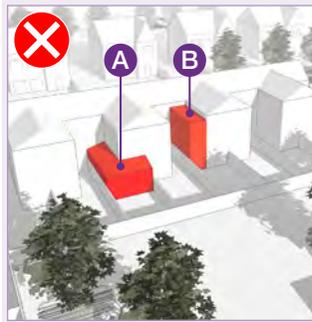
4.4.2 Infill extensions should generally retain the form of the original building and should be carefully designed to make sure they maintain the quality of living environment for neighbouring properties.

4.4.3 Infill extensions should:

- be subordinate to the original building and limited to a single storey in height;
- minimise the height on the party wall line;
- maintain the integrity of the original building, for instance by retaining a column at its rear corner, and avoiding a wrap around extension; and
- follow the style of the original building, or complement it with a high quality modern addition.

4.4.4 They should maintain the quality of environment for neighbours by ensuring reasonable levels of daylight and sunlight to the habitable rooms in adjoining properties, preferably with a sloping roof and keeping the height on (or adjoining) the party wall as low as possible.

Infill extensions



A Wrap-around extensions do not retain the integrity of the original building.

B This infill extension is overbearing and impacts on the neighbouring environment.



Examples of acceptable rear and side extensions. Exceptions to the general guidance can be admissible if there is a clear justification and exceptional design quality.



4.5 Side extensions

4.5.1 In some residential areas, there is a regular pattern of buildings and spaces, for instance in 1930s semi-detached suburban housing. In these locations, where the rhythm of the street frontage contributes to local character, side extensions should not interfere with this.

4.5.2 Side extensions should be sited and designed so as to minimise any impact on local character, by:

- being well back from the original building line, and preferably not seen in views along the street;
- being subordinate to the original building, in particular so that extensions of 2 storeys are noticeably smaller in footprint than the original building;
- having a carefully designed roof form that is in scale with the original roof;
- following the style of the original building, or complementing it with a high quality modern addition; and
- avoid terracing where this is not currently present.

4.5.3 Side extensions should retain a reasonable living environment for the property being extended, by:

- maintaining a gap between the dwelling and the site boundary of at least 1m to allow external access to the garden; and
- retaining off-street parking provision behind the building line where it exists at present.

4.5.4 Side extensions should maintain the quality of environment for neighbours, by:

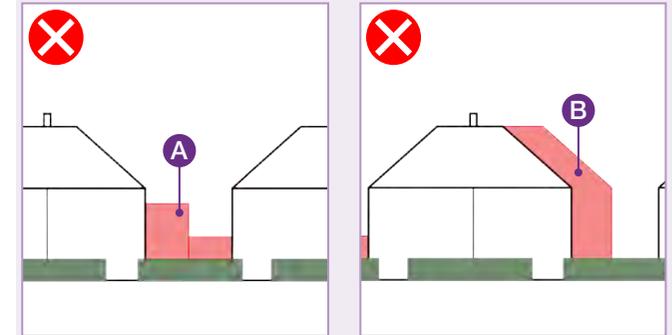
- ensuring reasonable levels of daylight and sunlight to the habitable rooms in adjoining properties – use the 45-degree rule to check this (See section 4.3.3);
- positioning windows to minimise any potential to overlook the neighbouring property or its garden;
- where windows are required in side elevations, ensuring that any at first floor level are obscure glazed with opening fanlights only; and
- setting the extension away from the property boundary so as to avoid any dramatic change in scale in relation to the neighbouring garden.

4.5.5 On corner plots, side extensions may be considered as being both side extensions and front extensions, as they will potentially relate to both streets. Both elevations should be designed as street frontages.

4.5.6 On corner plots, side extensions should contribute to local character by:

- turning the corner, i.e. facing in both directions to create two frontages, each with windows at ground floor and upper levels overlooking the street;
- being set back from the existing building line on both streets; and
- following the boundary treatments along both streets, in terms of its position, height and materials.

Side extensions



- A Side extensions, even when subordinate can lead to the infill of gaps between houses, detracting from character.
- B A side extension to this semi-detached house makes it look unbalanced and 'top-sided'.



- C Side extension is subservient and in proportion with the existing building.
- D Side extension retains space between buildings and is clearly subservient to the existing building.

4.6 Front extensions and porches

4.6.1 Front extensions are highly visible in the streetscene and should be carefully designed to make sure they do not erode local character.

4.6.2 Generally, small porches are an acceptable form of front extension. Because of their prominence in the streetscene, the design, materials and details of any other front extension will need to be high quality.

4.6.3 Front extensions should maintain local character by:

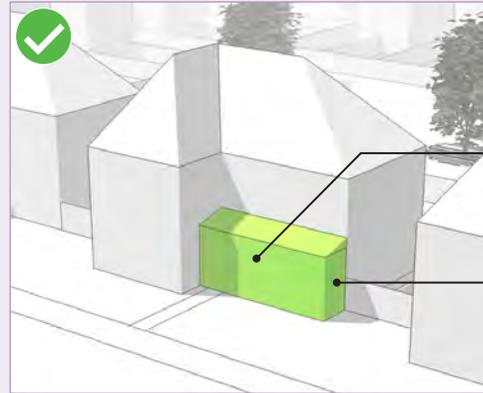
- being small in footprint relative to the original building;
- porches being set behind the existing building line so that they are not dominant elements in the streetscene;
- being subordinate in scale so that they do not dominate the original building;
- generally following the style of the original building in terms of design, materials and detailing, including roof materials and pitch; and
- being consistent with others on a terrace or other group of buildings, and not having an unbalancing effect on the group as a whole.

4.6.4 They should maintain the quality of environment for neighbours, by ensuring reasonable levels of daylight and sunlight to the habitable rooms in adjoining properties – use the 45-degree rule to check this (See section 4.3.3)

Front extensions and porches



Front elevations that sit in front of the existing building line negatively impact upon the streetscene.



Example of an acceptable extension.

Sits behind predominant building line.

Does not extend beyond width of original building.

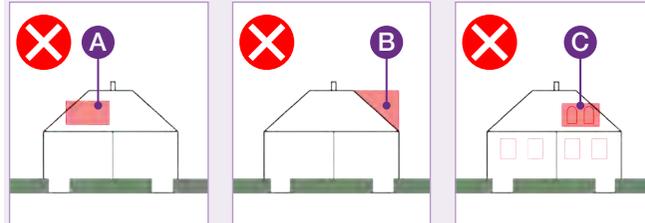
4.7 Roof extensions

4.7.1 Roof extensions should not affect the local character or the environment of neighbouring properties.

4.7.2 Roof extensions should:

- not unbalance the symmetry of a terrace or semi-detached dwellings;
- be clad in appropriate materials;
- ensure that the roof material and the shape of new windows relate well to the original building;
- position dormer windows with care, avoiding front or side slopes where they may unbalance the building or disrupt the consistency of a group or terrace;
- size dormers so they are subordinate elements at roof level, and do not extend across the full width of the roof;
- ensure that dormers do not rise above the ridge or hip of a roof;
- preferably align new openings with those on lower levels; and
- preferably locate skylights on side or rear roof slopes.

Roof extensions



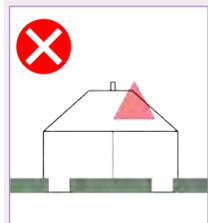
A Dormer is out of proportion with the remainder of the house.

B Impacts on the symmetry and integrity of the semi-detached houses.

C The dormer and its windows have a poor relationship with the rest of the house.



Example of an acceptable roof extension.



The dormer extends above the roof-line.



Example of an acceptable dormer window.

4.8 Windows and doors

4.8.1 The design and detailing of windows/doors on the street frontage is of particular importance as it contributes to local character.

4.8.2 The design of new windows and doors should relate well to those originally used in the building.

4.8.3 Replacement windows and doors on street frontages should:

- complement the existing by matching the opening arrangement, material and details to the originals;
- maintain the original glazing pattern which is generally an integral part of the appearance and quality of the building; and
- where the building is part of a group or terrace, they should maintain its consistency of appearance.

4.9 Solar panels, satellite dishes and air source heat pumps

4.9.1 These additions generally do not require planning permission. However, it is important to consider their impact on the attractiveness of new and existing individual dwellings and the street.

Solar panels

4.9.2 Where possible solar panels should not be placed on the front elevation of buildings or in a position that is visible from the street frontage. They should preferably be mounted in a regular pattern with equal set backs from the eaves and ridgelines.

Satellite dishes

4.9.3 Satellite dishes should be placed in the least prominent position, avoiding the front elevation wherever possible.

Air source heat pumps

4.9.4 Air source heat pumps should not be placed on front elevations or in a position that is visible from the street. If this cannot be avoided then they should be sensitively screened.

4.10 Balconies and roof terraces

4.10.1 New balconies and roof terraces on existing buildings should not affect neighbouring properties, or alter local character, either of a group of buildings or of the streetscape.

4.10.2 Balconies, including Juliet balconies, and roof terraces should be:

- positioned, and screened if necessary, so that they do not overlook neighbouring homes or gardens; and
- sited away from locations that are sensitive to additional levels of noise or disruption.

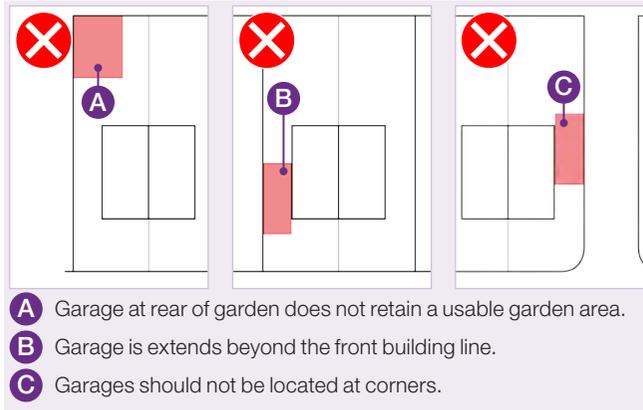
4.11 Garages and outbuildings

4.11.1 New garages and outbuildings should not affect the quality of the living environment or the character of the streetscene or the area.

4.11.2 Garages and outbuildings should:

- preserve a back garden of a reasonable size, appropriate for the potential number of occupants of the house, and able to accommodate activities such as playing, drying clothes, cycle and waste and recycling storage;
- be set back behind the building line of the original house so they do not intrude in the streetscene;
- be subordinate in footprint and scale to the original house;
- follow the style of the original building, or complement it with a high quality modern addition; and
- ensure that the roof form is well proportioned and in scale with the original house and its roof.

Garages and outbuildings



5 Design and Access Statements

5.1 Introduction

5.1.1 A Design and Access Statement is a short report that needs to be submitted with certain applications for planning permission and listed building consent. These include:

- all major development proposals;
- development in conservation areas for one or more dwellings;
- development in conservation areas for more than 100 sqm of floorspace; and
- listed building consent.

5.1.2 A Design and Access Statement is used by the local planning authority and others to help understand the development proposal, why it is as it is, and how it has evolved.

5.1.3 The level of detail should be proportionate to the complexity of the application but it should not be a long document.

5.1.4 This section refers to applications for detailed planning permission. For information on listed building consent applications, please contact the Planning section of the Environment, Culture and Communities department.

5.2 Content of a Design and Access Statement

5.2.1 The Design and Access Statement should explain how the development proposal is a suitable response to the site and its setting and it should demonstrate that it can be accessed by all.

5.2.2 It should:

- explain the relevant design principles and concepts;
- outline the steps taken to appraise the context of the proposed development;
- demonstrate how the design approach takes that context into account;
- explain the approach to access;
- explain how relevant Local Plan policies have been taken into account;
- detail any consultation with the local planning authority and local residents and how this has informed the proposals; and
- explain how any specific issues that might affect access have been addressed.

5.2.3 Outline planning applications must provide information about the proposed uses and amount of development proposed for each use. They must also indicate the area or areas where access is proposed to the development. Applicants may also provide additional information as part of the application to help the Council assess it against planning policies. The Design and Access Statement should explain how the application will achieve high quality design and so comply with Core Strategy Policy CS7 and any other relevant policies.

5.2.4 A Design and Access Statement is an opportunity for an applicant to showcase the development proposals. It should be easy to understand, engaging to read, have a high level of information expressed in a diagrammatic format and should realistically communicate what the proposals will look like, how they will function and the impact they will have on the surrounding area.

5.2.5 For more information on Design and Access statements, please see:

<http://www.designcouncil.org.uk/resources/guide/design-and-access-statements-how-to-write-read-and-use-them>

6 Appendix: Further sources of information

Bracknell Forest Council Supplementary Planning Documents and guidance notes

The Council has produced and adopted a number of Supplementary Planning Documents (SPDs) to guide development in the Borough and interpret local planning policy. These are:

- Amen Corner SPD
- Character Area Assessments SPD
- Design SPD
- Designing for Accessibility SPD
- Planning Obligations SPD
- Parking Standards SPD
- Streetscene SPD
- Sustainable Resource Management SPD
- Thames Basin Heaths SPD
- Warfield SPD

Copies of the documents listed above can be found on the Council's website at:

<http://www.bracknell-forest.gov.uk/spds>

General design advice

Good design advice can be found in numerous locations nationally.

The NPPF and NPPG set out key principles on design issues and should be used as a reference.

Suggested reading includes:

- By Design - Urban design in the planning system: towards better practice - DETR and CABE, 2000
- Urban Design Compendium 2 - English Partnerships and the Housing Corporation, 2006
- Manual for Streets - DfT and DSLG, 2007
- Manual for Streets 2 - A Wider Application of the Principles - CIHT, 2010
- Car Parking: What Works Where - English Partnerships 2006
- Protecting design quality in planning - CABE, 2002

Neighbourhood Plans

Binfield Neighbourhood Plan has now been adopted and is a material consideration when determining planning applications. Neighbourhood plans are also being progressed for the areas of Bracknell, Crowthorne, Sandhurst, Warfield and Winkfield. Further information is available on the Council's website at:

<http://www.bracknell-forest.gov.uk/neighbourhoodplanning>

The Beauty In My Back Yard (BIMBY) toolkit may also be of interest to local residents wishing to work with local developers on new housing schemes. This can be found on the Prince's Foundation website.

Sustainable Drainage Systems (SuDS)

Information relating to the level of information required when submitting a planning application can be found on the Council's website at:

<http://www.bracknell-forest.gov.uk/planningapplicationssuds>

Ciria has produced a SuDS Manual (updated in 2015) titled "The SuDS Manual (C753)" and this can be viewed at:

http://www.ciria.org/Memberships/The_SuDs_Manual_C753_Chapters.aspx

Information on SuDS is also available from the following national organisations:

www.susdrain.org

www.uksuds.com

Waste and Recycling

Specific guidance on Waste and Recycling is set out within the document titled Requirements for Waste and Recycling Provision at New Developments which can be viewed on the Council's website at:

<http://www.bracknell-forest.gov.uk/guidance-notes-for-new-developments-waste.pdf>

Copies of this booklet may be obtained in large print, Braille, on audio cassette or in other languages. To obtain a copy in an alternative format please telephone 01344 352000.

Nepali

यस प्रचारको सक्षेपं वा सार निचोड चाहिं दिइने छ ठूलो अक्षरमा, ब्रेल वा क्यासेट सून्नको लागी । अरु भाषाको नक्कल पनि हासिल गर्न सकिने छ । कृपया सम्पर्क गनुहोला ०१३४४ ३५२००० ।

Tagalog

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Urdu

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Polish

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Portuguese

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**TO: ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL
7 MARCH 2017**

**BRACKNELL FOREST BOROUGH LOCAL PLAN UPDATE
Director of Environment, Culture & Communities**

1. PURPOSE OF REPORT

- 1.1 The Local Plan sets out policies and proposals for the development and use of land in an area taking account of social and environmental factors. It comprises Development Plan Documents (DPDs) that form part of the statutory development plan. Supplementary Planning Documents (SPDs) can also be produced which provide further interpretation of the implementation of policies set out in a DPD. The policies in these documents are used in the assessment of planning applications.
- 1.2 This report summarises the position on the Local Plan, and provides an update following the previous report in January 2017. The programmes for the various documents under preparation are set out in the recently adopted Local Development Scheme (November 2016) which was updated from the 2015 version to include the programme for the joint Mineral and Waste Local Plan.

2. RECOMMENDATION(S)

That the Panel notes the documents that currently form the Bracknell Forest Local Plan, and documents that are under preparation.

3. REASONS FOR RECOMMENDATION(S)

- 3.1 To advise the Panel of adopted documents and progress being made on those that it is hoped will eventually form part of the Bracknell Forest Local Plan.

4. ALTERNATIVE OPTIONS CONSIDERED

- 4.1 None.

5. SUPPORTING INFORMATION

Documents that have been finalised

- 5.1 The Bracknell Forest Local Plan comprises a number of documents. The Core Strategy (February 2008), the Site Allocations Local Plan (SALP) (July 2013) and the Bracknell Forest Borough Local Plan (BFBLP) (January 2002) are the main adopted documents that help form the development plan for the area. The Core Strategy sets out the overarching strategy for the area, including a figure for housing growth (although this is not based on an objective assessment of housing need). The SALP allocates sites to meet the Borough's development requirements, particularly for housing. The BFBLP contains a number of 'saved' policies that remain in effect for the purposes of managing development in the Borough.

- 5.2 In addition to the documents referred to above, there are Minerals and Waste DPDs and a number of SPDs. A list of the Council's adopted documents is set out in Appendix 1.

Documents that are under preparation or planned

- 5.3 The Local Development Scheme (LDS) is a three-year project plan (2015 – 2018), which sets out time scales for the preparation of planning documents. The most recent version was approved by Executive on 23 June 2015.

Comprehensive Local Plan

- 5.4 The LDS states that the Council is intending to produce a Comprehensive Local Plan (CLP). The CLP will take the form of a single document, comprising three parts. The first part will relate to background and context, the second part to strategic matters (for example overall requirements on housing, employment etc, and any associated allocations), and the third part will relate to Development Management (DM) policies.
- 5.5 The scope of the CLP was described in the previous update report. The early stage Issues and Options consultation closed on the 25th July. Responses were received from around 80 individuals and organisations with around 1,000 individual comments made in their responses. The consultation responses are currently being summarised and analysed and they will inform the preparation of the preferred option to be published in 2017. The comments made will be reported along with officers' responses and recommendations when the draft preferred option is considered.
- 5.6 Table 1 below sets out the intended programme for the preparation of the CLP.

Table 1 – Timetable for the Comprehensive Local Plan

Stage	Date	Status
Notification of bodies/persons of intention to prepare a plan, Sustainability Appraisal scoping, evidence gathering and preparation of consultation documents	June 2015 - June 2016	Completed
Issues and Options consultation	June/July 2016	Completed
Publication of SHELAA for comments	Nov/Dec 2016	Completed
Further evidence and analysis / produce draft document	July 16 - July 2017	Programmed
Draft Plan consultation	September/October 2017	Programmed
Publication (6 weeks)	February/March 2018	Programmed
Consideration of representations	April - June 2018	Programmed
Submission	July 2018	Programmed
Pre-Examination Meeting/Examination/Hearing/ Inspectors Report	August - December 2018	Programmed
Report to Council/Adoption	February 2019	Programmed

Progress on the Evidence Base

5.6 The Council is currently preparing a wide range of evidence studies which will support the formulation of policies within the CLP and decision making on planning applications. It is important that the evidence base is prepared in accordance with the National Planning Policy Framework and National Planning Practice Guidance. A summary of the strategic evidence studies which are being undertaken is set out below:

- *Strategic Housing Market Assessment (SHMA)* – this sets out the relevant ‘housing market areas’ (HMAs) within the study area and the objective assessment of housing needs (OANs). It considers the need for all types of housing (including affordable) and for different groups (older people, students etc). It also identifies an appropriate mix and tenure for the plan period. The Council has worked with the other Berkshire Authorities and the consultant (GL Hearn) on the SHMA which has now been finalised.

The report suggests two HMAs within Berkshire:

- Western HMA: comprising West Berkshire, Reading Borough, Wokingham Borough and Bracknell Forest, and
- Eastern HMA: comprising Slough Borough, Royal Borough of Windsor and Maidenhead, plus South Bucks.

Following completion of the work, the Council now needs to undertake further work on constraints, spatial distribution and the allocation of sites to meet the needs of the Borough to 2036. This will be informed by ‘land availability’ work.

- *Strategic Housing and Employment Availability Assessment (SHELAA)* – In order to identify sites to be allocated for development in the Local Plan the Council prepares a SHELAA. This is a record of sites submitted by interested parties (generally landowners and developers) for potential development. It is an essential piece of technical evidence to support the Local Plan process. The SHELAA includes an assessment of the availability, suitability and achievability of each site for possible development. It does not allocate sites for development and is not a statement of Council policy. As set out in Table 1 above the draft SHELAA was published for comment in November 2016 following completion of visits to, and assessments of, the sites. The consultation ran up to 19 December 2016. 245 responses were received which are now being summarised and analysed.
- *Gypsy and Traveller Accommodation Assessment (GTAA)* - this study looks at the level of need for pitches/plots within the Borough. ORS (the appointed consultancy) is currently in the process of reviewing comments made by officers on the draft report with a view to the completion of this stage of the work. The scope and cost of a further piece of work that takes account of changes in national policy documented in ‘Planning Policy for Traveller Sites’ (August 2015) is currently being considered.
- *Functional Economic Market Area (FEMA)* - the FEMA looks at the geographical extent of the local economy and its key markets. In summary, it suggests that Bracknell Forest falls within a FEMA which includes Wokingham Borough, Reading Borough, Royal Borough of Windsor and Maidenhead and Surrey Heath. It is available to view on the Council’s web site¹. The Berkshire FEMA report has been finalised, and has been published alongside the SHMA.

¹ Comprehensive Local Plan evidence base:
<http://www.bracknell-forest.gov.uk/evidencebaseforcomprehensivelocalplan>

Bracknell Forest is in a Central Berkshire FEMA with Wokingham Borough, Reading Borough and the Royal Borough of Windsor and Maidenhead.

- *Economic Development Needs Assessment (EDNA)* - work has been completed on the Central Berkshire EDNA. This work was led by the Thames Valley Berkshire Local Economic Partnership and was jointly commissioned by them and the six Berkshire unitary authorities. The final report has now been published alongside the FEMA.
- *Landscape Character Study* - LUC were appointed in December 2014 to undertake a number of pieces of landscape related work. The work has been carried out in two parts:
 - Stage one: Landscape Character Assessment (LCA) of the Borough (excluding land within settlements).
 - Stage two: a 'recommendations report', which sets out LUC's recommendations on the approach to be taken on landscape designation policies, 'gaps', and Green Belt village boundaries (from a landscape character perspective).

The Landscape Character Assessment has now been completed and is being used by Officers in determining planning applications.

- *Sustainability Appraisal/Strategic Environmental Assessment (SA/SEA)* – this process runs alongside the preparation of a Local Plan, and is an on-going iterative process, it considers environmental, economic and social matters, A focused consultation has taken place on the SA/SEA scoping and ended on 31 July 2015. Regulations require that the Council consults certain bodies (these are Historic England, Natural England and Environment Agency). The purpose of this is to agree the methodology and collate the information needed to carry out the appraisal/assessment. Comments were received from all three statutory consultees. The draft Scoping Report has now been finalised taking into account the comments received.
- *Green Belt Review* – Consultants Amec were appointed jointly with Wokingham BC to carry out this work across both Boroughs which will involve an assessment of the Green Belt against the five purposes set out in the NPPF:
 - To check the unrestricted sprawl of large built-up areas
 - To prevent neighbouring towns from merging into one another
 - To assist in safeguarding the countryside from encroachment
 - To preserve the setting and special character of historic towns
 - To assist in urban regeneration, by encouraging the recycling of derelict and other urban land

Focused consultation (on the methodology for assessing land parcels, and land parcel definition) with Parish/Town Councils within the two authorities and adjoining District/Borough/County Councils took place between 1 February and 15 February 2016 (Members were notified of the consultation by email on 29 January).

The review has been completed and published. It does not allocate sites and does not propose any significant changes to the Green Belt boundary.

- *Strategic Flood Risk Assessment (SFRA)* – Tenders were sought for carrying out work to produce an updated SFRA for the Borough to inform the site selection

and policy formulation processes. Two bids were received to undertake the work and JBA have been appointed and are currently undertaking the project.

- *Development Viability* – BNP Paribas have been appointed to undertake a viability assessment of a number of different site types and sizes in different areas of the Borough. This will provide a high level overview of residential viability for the various types and locations of site listed in the SHELAA. The first draft of their report has been received and is currently being checked.

Joint Minerals and Waste Local Plan

- 5.8 It has been agreed that a joint Minerals and Waste Local Plan will be produced with Reading Borough Council, Wokingham Borough Council, and the Royal Borough of Windsor and Maidenhead. Hampshire County Council has been selected to carry out the work and have produced a timescale for its production. A presentation on the process for producing the Plan was made to Councillors and officers from the commissioning authorities on 22nd November 2016 in Reading. The proposed programme is to conduct a call for sites early in 2017, produce issues and options in 2017, produce a draft plan in 2018, publish the Plan and consult on its soundness in 2019 and hold the public examination and adopt the Plan in 2020. The programme will depend on the partner authorities all taking key stages of the Plan through their decision making processes. There has been a delay in finalising the contract which has meant that commencement of the work on the Plan has been delayed.

Design SPD

- 5.9 Consultants Tibbalds were appointed to produce a Supplementary Planning Document on Design, including general principles and some clear guidance on the design of extensions. Following Executive approval on 27 September the SPD was subject to consultation for a six week period from Monday 17th October to Friday 25th November 2016. The consultation resulted in around 45 comments being received which are now being analysed and any appropriate changes will be incorporated in the final version. It is planned to seek approval to adopt the SPD at the Executive meeting in March 2017, there is a report on the Design SPD elsewhere on the Overview and Scrutiny meeting agenda that considers its content and invites the Panel's views.

Background Papers

Bracknell Forest Borough Local Development Scheme: November 2016:

<http://www.bracknell-forest.gov.uk/local-development-scheme-2016-to-2019.pdf>

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APPENDIX 1

Local Planning Documents Update

ADOPTED DOCUMENTS

Development Plan Documents

Available to view: <http://www.bracknell-forest.gov.uk/developmentplan>

Core Strategy DPD

- A high level document containing the Council's long-term aspirations for the Borough, and policies to guide and manage development in Bracknell Forest until 2026.
- Adopted February 2008

Site Allocations Local Plan

- Implements the adopted Core Strategy. Identifies sites for future housing development, ensures that appropriate infrastructure is identified and delivered alongside new development and revises certain designations on the Policies Map.
- Adopted July 2013

Bracknell Forest Borough Local Plan

- Some of the policies have been replaced by the adopted Core Strategy and adopted Site Allocations Local Plan. However, many were 'saved' by the Secretary of State beyond 27 September 2007 and remain in effect.
- Adopted 2002

Bracknell Forest Borough Policies Map

- Shows Core Strategy, Site Allocation Local Plan designations and Saved Policies from the Bracknell Forest Borough Local Plan.
- Adopted July 2013

Binfield Neighbourhood Development Plan

- The Binfield Neighbourhood Plan was prepared and written by Binfield Parish Council.
- Following a successful independent examination and a majority voting in favour of making the Plan at a local referendum on 3 March 2016, the Neighbourhood Plan was brought into legal force by the council on 20 April 2016.

Replacement Minerals Local Plan

- The plan intends to ensure that minerals were extracted in the right place to 2006 and that there are enough planning permissions for a further seven years. The plan also contains a number of Development Management Policies.
- Adopted May 2001

Waste Local Plan for Berkshire

- The plan has policies for waste management development and ensures that waste development is in the least environmentally sensitive locations.
- Adopted December 1998

Supplementary Planning Documents

Available to view: <http://www.bracknell-forest.gov.uk/spds>

Designing for Accessibility SPD

- Provides guidance on making development accessible, including for disabled and other less mobile people.

- Adopted at the 20 June 2006 Executive meeting.

Parking Standards SPD

- Contains guidance on parking requirements for residential and other forms of development.
- Adopted at the 16 March 2016 Executive meeting.

Sustainable Resource Management SPD

- Provides guidance on renewable energy, climate change, efficiency and sustainable construction in relation to Core Strategy policies.
- Adopted at the 21 October 2008 Executive meeting.

Amen Corner SPD

- Provides guidance for planning applications in respect of a comprehensive mixed use development on land at Amen Corner South which was agreed through the Core Strategy and allocated through the Site Allocations Local Plan.
- Adopted at the 16 March 2010 Executive meeting.

Character Area Assessments SPD

- Defines the character of specific areas in the Borough and interprets Core Strategy policy.
- Adopted at the 16 March 2010 Executive meeting.

Streetscene SPD (and Annex relating to Highway Guide for Development)

- Contains design guidance for streets and other public spaces in residential developments.
- Adopted at the 29 March 2011 Executive meeting.

Thames Basin Heaths Special Protection Area Avoidance and Mitigation Strategy SPD

- Explains how negative impacts of residential development on a special protection area for rare birds will be avoided and mitigated.
- Adopted March 2012.

Warfield SPD

- Provides guidance for planning applications in respect of a comprehensive mixed use development on land at Warfield (formerly known as land North of Whitegrove and Quelm Park). The area was agreed for development through the Core Strategy and the land was allocated through the Site Allocations Local Plan.
- Adopted February 2012.

Planning Obligations SPD

- Replaced the Limiting the Impact of Development SPD which has now been withdrawn.
- Takes account of the changes to developer contributions arising from the introduction of CIL.
- Adopted April 2015.

Community Infrastructure Levy (CIL)

- The CIL is a charge on new development payable to Bracknell Forest Council to deliver infrastructure needed to support new development.
- Commenced charging CIL 6 April 2015.
- <http://www.bracknell-forest.gov.uk/cil>

DOCUMENTS UNDER PREPARATION

Development Plan Documents

Comprehensive Local Plan

- To include a vision, objectives, and strategy for the level and distribution of development in the Borough up to 2036, including housing, economic and retail development and new infrastructure;

Policies will relate to:
 - development within the Green Belt;
 - development within the Countryside;
 - design, including residential extensions and shop fronts;
 - environmental issues such as flood risk and water quality;
 - heritage assets;
 - the natural environment and biodiversity including landscape, green infrastructure and the Thames Basin Heaths Special Protection Area;
 - infrastructure needs including open space, sport and recreation and community facilities;
 - town, district and local centres;
 - development affecting employment sites;
 - housing needs including those for:
 - Gypsies, Travellers and Travelling Showpeople
 - affordable housing;
 - healthy and inclusive communities, and,
 - climate change including the delivery of renewable energy and sustainable construction.

- Timetable, as set out in Table 1 in covering report. Key dates are Issues and Options consultation in June/July 2016, Draft Plan consultation June/July 2017, Submission July 2018, Adoption February 2019.

Joint Minerals and Waste Local Plan

- To set out the policies on minerals and waste across four authorities: Bracknell Forest, Wokingham Borough, Royal Borough of Windsor and Maidenhead and Reading Borough. It will be informed by a robust evidence base.

- Timetable, as set out in the LDS:
 - Commencement of Review (notification of bodies/persons of intention to prepare a Plan, Sustainability Appraisal scoping, evidence gathering and preparation of consultation documents): June 2015 - June 2016
 - Issues and Options consultation: June/July 2016
 - Further evidence and analysis: June 2016 - July 2017
 - Draft Plan consultation: June/July 2017
 - Publication (6 weeks): February/March 2018
 - Consideration of representations: April - June 2018
 - Submission: July 2018
 - Pre-Examination Meeting/Examination/Hearing/Inspectors Report: August – December 2018
 - Report to Council/Adoption: February 2019 (provisional)

Policies Map

- The adopted Policies Map spatially illustrates the policies in the Local Plan on an Ordnance Survey base. It will be updated to incorporate any changes in area specific policies resulting from the adoption of the Comprehensive Local Plan and Minerals and Waste Local Plan.
- To be progressed alongside the timetable for the Comprehensive Local Plan and Minerals and Waste Local Plan.

Supplementary Planning Documents

Design SPD

- To provide guidance on the design of development at a range of scales, including updated guidance on the design of household extensions.
- It is intended to seek approval for a consultation draft of the SPD at the September Executive.
- Target date for adoption is March 2017.

Neighbourhood Planning

- All six Parish areas have now been designated in Bracknell Forest covering:
- The Binfield Neighbourhood Plan has been through examination and referendum and has now been made and forms part of the development plan (see previous section). . .
- Further details of progress on neighbourhood plans is available at <http://bracknell-forest.gov.uk/neighbourhoodplanning>

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**TO: ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL
7 MARCH 2017**

**WORKING GROUP UPDATE REPORT
Working Group Lead Member**

1 PURPOSE OF REPORT

1.1 This report sets out the progress achieved to date by the Working Group of the Panel reviewing houses in multiple occupation.

2 RECOMMENDATION(S)

2.1 That the Panel notes the progress achieved to date by its Working Group reviewing houses in multiple occupation.

3 REASONS FOR RECOMMENDATION(S)

3.1 To keep the Panel up to date regarding the activities of its Working Group reviewing houses in multiple occupation in the Borough.

4 ALTERNATIVE OPTIONS CONSIDERED

4.1 None.

5 SUPPORTING INFORMATION

5.1 A Working Group of the Panel, comprising Councillors Brossard (Lead Member), Angell, Finnie, Mrs Ingham and Mrs McKenzie- Boyle, was established to review houses in multiple occupation in the Borough.

5.2 The Working Group has met on two occasions to date. At its first meeting it scoped the review and discussed the environmental health functions concerning houses in multiple occupation and the Council's responsibilities relating to them under housing legislation. During its second meeting the Working Group explored housing functions and any related anti-social behaviour issues associated with houses in multiple occupation.

5.3 Future meetings will include reviewing the planning and rates aspects of houses in multiple occupation and meeting representatives of Thames Valley Police, Royal Berkshire Fire and Rescue Service, estate agents and Landlords of houses in multiple occupation.

6 ADVICE RECEIVED FROM STATUTORY AND OTHER OFFICERS / EQUALITIES IMPACT ASSESSMENT / STRATEGIC RISK MANAGEMENT ISSUES / CONSULTATION

6.1 Not applicable.

Background Papers

None.

Contact for further information

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QUARTERLY SERVICE REPORT

ENVIRONMENT, CULTURE & COMMUNITIES

Q3 2016 - 17
October - December 2016

Executive Members:

Councillor Mr Chris Turrell
Councillor Mrs Dorothy Hayes
Councillor Iain McCracken

Director:

Vincent Paliczka

Date Completed: 19 January 2017

Contents

Section 1: Where we are now	3
Section 2: Strategic Themes	9
Value for money	9
A strong and resilient economy	12
People have the life skills and education opportunities they need to thrive.....	14
People live active & healthy lifestyles	15
A clean, green, growing and sustainable place	17
Section 3: Operational Priorities	20
Section 4: People	22
Section 5: Complaints	24
Annex A: Financial information	25
Annex B: Annual indicators not reported this quarter	43

Key

Actions

	Action is on schedule		Action has been completed
	Action may fall behind schedule		Action is no longer applicable
	Action is behind schedule	-	Not yet updated

Performance indicators

	On, above or within 5% of target
	Between 5% and 10% of target
	More than 10% from target

Section 1: Where we are now

Director's overview

The department is heavily involved in the first year of the transformation programme with intensive work being undertaken at South Hill Park, Libraries and Leisure Services. All of these projects are progressing well and moving in to the implementation phases with plans that should achieve the financial targets set for them. Implementation is complex in technological, human resource and contractual terms. The pressure on staff with the services and support services should not be under estimated.

There are several examples in this report which demonstrates the internal culture within the department to reduce expenditure or increase income and attempts to reduce net costs. Examples are evident in Leisure, Environment, Building Control, Parks and Countryside and Planning.

Last quarters QSR identified external validation of the quality of service provided and this report highlights further examples in street cleansing, The Look Out, Westmorland Park and highway satisfaction levels.

Highlights and remedial action

Good performance

Environment and Public Protection

- The number of cremations in November increased significantly. Slough Crematorium had a partial closure and it's believed that this was partially the reason for the increase. New front doors have been fitted and a new sculpture carved out of a fallen tree now stands in the grounds.
- Bracknell Forest Council was best performer for the South East and for all regions for cleanliness of streets and cleanliness of pavements in the National Highways & Transport Survey 2016 (undertaken by Ipsos Mori).
- Following a successful trial last year all street sweepings are now being segregated and recycled instead of being sent to landfill by the re3 contractor FCC. A contract variation has been implemented for this new process and half year results 2016/17 resulted in 316 tonnes of sand and gravel extracted and 165 tonnes composted. In total 75% of sweepings were diverted from landfill and the saving on landfill tax alone is over £40,500.
- Discussions for the setting up of a joint Regulatory Service between West Berkshire, Wokingham and Bracknell Forest concluded with each Council agreeing the arrangement in December. A legal agreement was signed under seal on the 6 January and the new service commenced on 9 January 2017.
- Following failed test purchase operations for the sale of alcohol and allowing the use of gambling machine by a child the Hollywood Bowl agreed a 5 day closure of their premise licence from the 14 to 18th November 2016.

Leisure and Culture

- Continued improvement in income levels at Bracknell Leisure Centre, especially with regard to Platinum Membership uptake.
- Refurbishment of Bracknell Leisure Centre Main Hall completed, improving the floor surface and ensuring the area is more appropriate for badminton use.
- Platinum Loo of the Year Award maintained at The Look Out for 23rd year in a row.

Planning, Transport and Countryside

Building Control and Land Charges

- Building Control is now actively providing warranty inspections through Local Authority Building Control (LABC), providing increased networking opportunities and an additional income stream.
- Local Authority Building Control (LABC) is currently developing a set of agreed national performance standards for all LABC services. We will be expected to subscribe to these and they will be monitored nationally by government.
- Land Charges will be charging VAT on all CON29 search requests following a decision to do so by HMRC from 1 January 2017.

Planning

- Consultation was completed on the draft SHELAA and the Site Selection Methodology.
- Further progress is being made on the evidence base for the new local plan including completion and publication of the Economic Development Needs Assessment, completion of the first draft retail study, commissioning of viability work and tendering of the Strategic Flood Risk Assessment.
- Planning application performance is good with all application types exceeding the target of 80% within agreed timescales for the quarter.
- Over £1.5 million of CIL was collected in the second quarter of 2016/17.
- Planning appeals in the quarter have not met the 66% target for appeals dismissed. The reasons for the allowed appeals are being analysed and any learning points will be picked up. One appeal decision is being challenged through the courts.
- Consultation on a Design Supplementary Planning document was completed in this quarter and the document is being finalised for adoption in March

Transport

- Final stage improvements are currently being applied to traffic signal junctions on the A322 corridor ahead of town centre opening.
- Detailed design is underway for A3095 (south) transport corridor improvements linked to potential future Government Growth Deal funding.
- A329 London Road (east) transport corridor improvements are in the final stages of design and Thames Valley LEP funding approval is expected shortly.
- Improvements to Bracknell Rail Station commenced in December and will be completed in April 2017.
- The Council received an award from Andrew Jones MP, Parliamentary under Secretary of State for Transport, for the largest overall improvement in the 2016 National Highways & Transport public satisfaction survey.
- The 2016/17 Integrated Transport Capital Programme is substantially complete and the final construction schemes are now on-site.
- Work has started on assessing the transport impacts associated with the new Local Plan.

Parks and Countryside

- Westmorland Park has been awarded a belated Green Flag for 2016/17, taking the total number of Green Flag sites to six. This good news follows an appeal of the initial decision in July 2016.
- The service has taken over responsibility of the MUGA (Multi Use Games Area) at The Parks as well as the large site at Jennett's Hill which consists of senior and toddler play areas, teen area and two floodlit MUGAs.
- Drainage improvement works have been carried out to the main football pitch at Westmorland Park to extend the playing capacity of the pitch throughout football season.
- The toddlers play area at South Hill Park has received a makeover with equipment repairs, new turf and readjustment of the planting to make it more durable.
- Changes have been made to the planting in the Italian Garden at South Hill Park with the outer L-shaped beds also being planted up with seasonal bedding (changed twice a year). This should bring more colours to the area and also make it more historically accurate.
- The annual Christmas treasure hunts at South Hill Park and Lily Hill Park have proved extremely popular again this year with approximately 120 children booked on to each one.

- Accessibility improvements have been carried out along Public Rights Of Way including Binfield Footpath 2, Sandhurst FP13 and Winkfield FP19. These works were carried out by P&C rangers working in partnership with the South East Berkshire Ramblers (SEBR) and with funding from the Ramblers Association.
- S106 funding amounting to £18,135 has been approved for accessibility and wildlife improvement projects at Bluebell Hill and Frog Copse / Domesday Copse in Bracknell.
- Contractors have carried out significant scrub reduction as part of Suitable Alternative Natural Greenspace (SANG) improvement works at Garth Meadows and Larks Hill. A new noticeboard at the TimeLine Green entrance to Longhill Park and scrub / tree clearance at Englemere Pond to create a heathland corridor through the site.
- Birch, pine and rhododendron have been felled on the Iron Age ramparts at Caesars Camp in order to protect this important archaeological feature and to maintain / improve the heathland habitat which is part of the Thames Basin Heaths Special Protection Area (SPA).
- Works carried out in conjunction with the Bracknell Conservation Volunteers (BCVs) in the last quarter include woodland bulb planting at Bill Hill, rhododendron clearance at Milman Close and hedge laying at Pope's Meadow. 3 work experience students from Ranelagh School have also helped to construct a hazel woven fence along the pond edge at Pope's to reduce bank erosion by dogs accessing the water and Lloyd's Register company volunteers have assisted with works at Jennett's Park.
- The winners and shortlisted entries to the tree themed Parks Photographic Competition results have been announced. Over 200 entries were submitted to this competition (the most ever), which promotes BFCs parks and open spaces.

Areas for improvement

Environment and Public Protection

- The construction work within the Town Centre resulted in several operational challenges. Keeping what's there clean is not easy. There are discussions ongoing with Continental Landscapes and the Contractors about how to manage the needs. This will be a continued area to focus effort on as we move ever closer to handover. One of the unresolved challenges is now to deal with stains on the new pavement.

Planning

- Planning appeals performance has dropped from the previous quarter though remains above target. One of the decisions is not considered sound by officers and this view has been supported by Counsel and a legal challenge, is being made.
- It is still not considered appropriate to commence a review of CIL as the panel report to government on changes to CIL recommends some fundamental changes and it is not yet known what the outcome of the review will be.

Audits and Risks

Building Control and Land Charges

- The Land Registry/DCLG has released the result of the consultation released to gauge opinion on the proposed takeover of the Local Land Charges Register by the Land Registry. Although the respondents' views were mixed, with more questions raised than answered, the Land Registry is continuing the ground works to take over the service with all services expected to be migrated by 2023.

Transport

- An audit of the Highway Adoptions process has been undertaken. The identified improvement actions have been concluded and are now being implemented.

Parks and Countryside

- An audit of financial controls has been completed for Parks and Countryside with areas of review including: Business / Service Plans, Fees and Charges, Income / Expenditure, Assets and Inventory, Ranger Activities, Budget Monitoring and Prevention of Fraud. All controls were considered Satisfactory or Significant. Minor enhancements of processes are underway to reflect feedback.

Budget position

Building Control and Land Charges

- Land Charges is currently in a strong position financially in terms of cost recovery.
- Building Control is currently in a strong position financially in terms of cost recovery.

Planning

- Fee income is on target for the year following a significant surge in applications during December.

Parks and Countryside

- Expenditure on removing fly-tip waste from open space and rights of way land is currently costing over £10,000 as a result of a large proportion of the waste being classed as contaminated.
- A bid for s106 money to fund a borough-wide biodiversity improvement project has been submitted, in order to commit the final £34,530 of developer contributions that was targeted for spend in the current year.
- An initiative to create formal licences for all commercial organisations that need access to open spaces for the undertaking of their works (for instance site compounds, material storage etc.) has proceeded well. Agreements agreed in the quarter for £6000 and £2000, in addition to the primary benefit of legally conditioning physical protection for trees and open space during works that might otherwise cause damage and increase the maintenance costs falling to the service in the future.

Transport

- No significant issues to report

Environment and Public Protection

- An Audit undertaken of waste collection procedures was completed with a satisfactory overall result, and 2 medium priority actions and 4 low priority actions. Adequacy of controls showed that 7 were significant and 2 satisfactory which is a good outcome for the waste collection service and its complexities.

Financial position

The original cash budget for the department was £34.113m. Net transfers of -£0.566m have been made bringing the current approved cash budget to £33.546m. There are twelve variances to report against this budget in the third quarter.

A detailed analysis of the budget changes and variances this quarter are available in Annex A Tables 2&3.

In addition the department has identified a budget that can pose a risk to the Council's overall financial position:

- Whilst it had been known that the progression of the Coral Reef project would mean the closure of the facility during 2016-17 it was determined by the Borough Treasurer that no adjustments were to be made to the budget on the understanding that any overspend, due to the loss of income, would be met from contingency. The Departments HR team have developed a strategy for the redeployment of retained staff during the closure, which has saved salary costs, however the overall estimated pressure for the year is currently £434k. This is an increase of £50k on the previously reported pressure due to updated utility projections.

Capital Budget

The Committee's capital budget for the year was set at £22,185,000. This included £4,580,000 of externally funded schemes.

In addition to the carry forwards and additional funding received in Quarters 1&2 of £9,045,700. In quarter 3 there has been a transfer from revenue of £10,000 for the purchase of blue and green bins and a £12,000 in year saving against the Leisure Replacement Catering System taking the Departments budget to £31,228,700.

The department currently anticipates around 85.7% of the total approved budget to be spent by the end of the financial year, since there are a number of budgets including Town Centre highway works, Coral Reef Enhancement and the Chapel at the Cemetery & Crematorium which are not planned to be spent in this financial year. A detailed list of schemes together with their approved budget and forecast spend is available in Annex A Table 4.

Section 2: Strategic Themes



Value for money

1: Value for money			
Sub-Action	Due Date	Status	Comments
1.2 The cost, quality and delivery mechanism of all services will be reviewed by 2019			
1.2.07 Undertake a review of the leisure service and implement the findings	31/03/2017		The overall status is Amber due to the fact that the saving for 2017-18 detailed in the Council's efficiency plan has not yet been fully identified, relies on estimates of savings achievable in a new contract, plus a comprehensive review of the project plan has identified that the original ambitious target of a 31 January 2018 contract start date is unrealistic and a one month extension has been programmed. Obviously, there are assumptions in the plan (e.g. a 3 month mobilisation period) and if these change every effort will be made to bring the start date forward. There are also numerous project interdependencies within the department and across the authority stretching available resources to deliver the project.: Latest progress includes; • Members agreed direction of travel and heads of terms on 8 December 2016 • Staff briefing sessions held on 12 and 15 December 2016 • Procurement Plan, Executive report and Business Case have been drafted • Total number of casual staff has reduced further • Concession contract route agreed by the board • Specification has been drafted • Documents for ITT in progress and on track • Condition surveys analysed further and priority works identified The next steps for the review are: • Executive Decision on Procurement Plan has been set for 14 February 2017, following which it is anticipated the Pre-Qualification Stage will commence in March 2017 • Quotes now received for external legal and VAT support, funding to be secured and preferred suppliers to be selected. • Evaluation methodology and weightings to be agreed • Specification to be completed • Landlord and Tenant split of building responsibilities to be agreed
1.2.08 Undertake a review of the library service and implement the findings	31/03/2017		Project status is Green. Although numerous project interdependencies means that resources within the department continue to be very stretched, all key items are running on schedule and current deadlines and milestones should be met. Work ongoing to identify total savings for 2017-18. Latest progress includes: •Draft business case finalised •Draft implementation plan created. •Stock budget savings identified which could be used as efficiency savings contingency for 2017/18. •8 week public

			consultation ended Friday 16th December with a Gateway Review on 30th January and a March Executive decision. •Topline data arrived 23.12.16 and final report due 09.01.17. The next steps for the review are: • Gateway Review report going to the project board on 10th January. • Procurement plan to be created. • Gateway report, Business Case and Implementation plan to go to Project board, CMT, Gateway review board, Programme board, PRG and Executive decision. • Procurement plan, Implementation plan, Business case, Executive report, EIA/PIA for March Executive decision.
1.2.09 Undertake a review of Arts provision and implement the findings	31/03/2017		Final version of the SHPT Business Plan has been received which shows a grant reduction in each of the following two years in accordance with the council's efficiency plan but this requires a capital investment by the Council to improve the commercial performance at SHP. The Executive reviewed the final SHPT business plan at Executive Briefing on 1st November; they welcomed the plan and discussed the process for approving the capital investment. It was agreed that £190,000 should be included in the 2017/18 capital budget proposals and this will be considered by the Executive on 13th December and Full Council on 18th January. SHPT have commenced their governance review and it will need to move at pace as BFC support for the new business plan is dependent on this. Activist will support and quality assurance the governance review. The Executive were minded to support a 3 year agreement at the level of grant identified in the SHPT budget from April 2018 if a high performing board is in place.
1.3 We charge appropriately for services and seek opportunities to generate additional income			
1.3.03 Commission a second Chapel at Easthampstead Park Cemetery and Crematorium	30/06/2017		The tender package was prepared and issued to 5 bidders on the 9 November 2016. The tender return date was the 29 December 2016@ 12noon. 5 tender were received and currently being evaluated
1.3.04 Commission the new car park at the Lexicon	30/04/2017		The construction work to the car park is still to be concluded. The process to select the equipment is ongoing. All is still on schedule to allow handover in time for opening
1.4 Self-service and the use of online services has increased			
1.4.06 Introduce self issue in libraries and explore the potential extension of opening hours through the use of technology	31/03/2017		The project has been put on hold awaiting completion of the Library Service Transformation Review. This will enable procurement of a technology-led solution for the whole service which will include self-issue.
1.5 Community involvement and the use of volunteers in the delivery of council services has increased			

1.5.01 Support communities and Town and Parish Councils with the preparation of Neighbourhood Plans	31/03/2019		Neighbourhood Planning Service Level Agreement circulated to all Parish & Town Councils in December 2016.
1.6 Resident and staff satisfaction levels remain high			
1.6.01 Review services in response to the borough and National Highways Transportation satisfaction surveys	31/03/2019		BFC's results showed significant improvement in a number of areas and as a result the authority was awarded as biggest overall improver. Key markers were Provision of cycle routes +7%, location of cycle routes +6%. Location of speed control measure +6%, safety of children cycling to school +7%, public transport information +9%, traffic levels & congestion +6%. Overall satisfaction was 59% with the highest being 61%. In the accessibility theme BFC achieved 75% with the highest being 78%. In the public transport theme despite the improvement concerning information BFC overall scores 55% with the highest being 75% and the lowest being 47%. In the walking and cycling theme we are the highest with 64%. In the tackling congestion theme BFC scores 53% with the highest being 57%. The road safety theme sees BFC score 61% satisfaction with the highest being 62%. Finally the Highway Maintenance theme score is 61% with 62% being the highest. These are the underlying trends and now it is for individual service areas to drill down into the finer details and capture any further improvements that can be made.
1.7 Spending is within budget			
1.7.05 Implement savings as identified for 2016-17	31/03/2017		There have been two budgets identified which have not been able to fully achieve the in-year savings targets. These are town centre fountains (£5k) and highways (£51k). However given the overall savings of £1.458m the amounts represent only 4% of the overall savings figure. The Department has worked to ensure underspends have been identified to offset these and is reporting an underspend of nearly £500m.

Ind Ref	Short Description	Previous Figure	Current figure	Current Target	Current Status
L255	Subsidy on leisure services (Quarterly)	25,177	259,749	-277,971	

A strong and resilient economy



2: A strong and resilient economy			
Sub-Action	Due Date	Status	Comments
2.1 The borough is regarded as an excellent business location			
2.1.04 Work in partnership with external transport providers including Network Rail the rail operators, Highways England, Bus providers adjoining authorities and the Local Economic Partnership in order to support reliable journey times and economic growth	31/03/2019		Improvements over last quarter include completion of platform extensions at Martins Heron and commencement at Bracknell. Both schemes are to accommodate the new 10 car carriages. Continue to work in partnership with local bus operators on both supported and commercial routes.
2.1.05 Undertake Functional Economic Area and Economic Development Needs Assessments	31/03/2019		Berks FEMA completed Feb 2016 and results were used to inform EDNA. Final EDNA signed off and published on website.
2.1.06 Identify, secure and implement necessary infrastructure to support growth through S106 and Community Infrastructure Levy (CIL) bids for funds	31/03/2019		Construction commenced at Binfield Learning Village. Over £2.9m received in CIL payments exceeding target for the year of £2.1m.
2.2 The Northern Retail Quarter opens in April 2017			
2.2.03 Deliver key transport infrastructure which supports a newly functioning town centre	31/03/2019		The construction of town centre transport infrastructure will shortly be at full scale with Station Roundabout commencing during January. BFC continue to work closely with Bracknell Regeneration Partnership to facilitate delivery against programme.
2.2.05 Ensure provision of public transport through improvements to cycleways, Bracknell Bus and Rail stations and ongoing dialogue with all public transport providers to seek service improvements in order to provide access to Bracknell town centre by means other than car	31/03/2019		Bus station refurbishment complete. Improvements to Bracknell Rail Station facilities have commenced and will be complete by April. Procurement of evening and weekend supported bus services linked to the town regeneration now imminent. On-going pedestrian/cycle infrastructure improvements delivered through the Transport Capital Programme.
2.2.06 Deal proactively with planning applications and monitor adherence to agreed S106 obligations	31/03/2019		Planning application performance continues to be good with targets exceeded for all types of application. New staff member has started in the Implementation and Infrastructure team to assist with S106 monitoring.
2.3 A thriving town centre and night-time economy is supported by coordinated town centre management			
2.3.02 Create planning policies that enable future regeneration for	31/03/2019		Local Plan is continuing on programme with Issues and Options consultation

a continually evolving Town Centre through the comprehensive local plan			completed. Retail study has been reviewed and is being finalised ready for publication.
2.3.03 Manage the cleaning and grounds maintenance of the town centre in accordance with the town centre management agreement	31/03/2019		TC areas have been restricted due to laying of new paving. Concern about significant staining of new light coloured paving surface outside Princess Square from Market stall activity, tyre marks and leaf fall. Hot wash machine demonstrated early December - leaf stains could not be removed. Hot washer machine will need to be purchased to deal with all new light coloured paving and resin surfaces - sweeper tyres also stain new paving. Over 5000 pieces of chewing gum removed in and around bus station in early December. Meeting early January to further discuss resourcing and equipment needs now issues with new surfaces have become apparent.
2.4 Local residents have high levels of employment and incomes			
2.4.02 Develop and implement strong economic development related planning policies supporting business growth and business retention	31/03/2019		Local Plan continuing on programme. Functional Economic Market Area (FEMA) and Economic Development Needs Assessment (EDNA) both completed signed off and published.
2.5 Improvements in strategic infrastructure have been made to reduce congestion and improve traffic flows			
2.5.01 Replace all highway street lights with LED units throughout the borough and install CMS (Central Management System)	31/03/2019		Phase 1 is complete and Phase 2 is underway. Installation rates to date have been impressive. Further phases have been or are in the course of design and will follow as resources and material deliveries permit.
2.5.02 As part of the local plan process provide an evidence base in order to make informed infrastructure investment decisions related to the infrastructure delivery plan	31/03/2019		Local Plan evidence base is being developed with many studies completed including landscape, green belt, FEMA, EDNA and SHMA. More is currently under way including, Retail, SHELAA and GTAA. SHELAA was published for consultation in November 2016 and the consultation has been completed.
2.5.03 Prepare bids to secure funding for infrastructure via the LEP, seeking to deliver the infrastructure on the Councils 123 list	31/03/2019		A3095 transport infrastructure bid (Growth Deal 3) submitted to the Thames Valley LTB/LEP. A329 Martins Heron Rbt/London Road transport scheme now allocated conditional financial approval by the LTB/LEP, full financial approval expected in January 2017.

People have the life skills and education opportunities they need to thrive



3: People have the life skills and education opportunities they need to thrive			
Sub-Action	Due Date	Status	Comments
3.2 School places are available in all localities			
3.2.04 Monitor and implement the Infrastructure Delivery Plan against agreed timescales	31/03/2019		Consideration of the necessary implementation programme for schemes on the 123 list linked to new developments in Warfield, Amen Corner and the TRL site will inform future CIL funding priorities and the transport capital programme.
3.2.05 Proactively seek new education related facilities through the planning process on large scale development sites	31/03/2019		New school at Warfield (Berkeley's) now open. Construction has commenced on the new Learning Village at Binfield. Planning permission granted for new school at Amen Corner North.



4: People live active and healthy lifestyles			
Sub-Action	Due Date	Status	Comments
4.1 Numbers of adults and young people participating in leisure and sport is increased			
4.1.01 Develop a Playing Pitches and Open Space Strategy to identify future needs for open space in the borough	31/03/2019		Work progressing well, with demand and assessment phases complete and draft documents in progress. Key outcomes and recommendations prepared and put forward to Members Local Plan Working Group for review and the incorporation of comments to the documents.
4.2 Coral Reef is redeveloped			
4.2.01 Refurbished Coral Reef to open in Summer 2017	31/08/2017		The main pool hall roof has been removed and preparations are underway for the new roof works to commence. The flumes have been manufactured and are due to be shipped during the next quarter. The flume tower construction is ongoing and internal works are progressing well.
4.3 Comprehensive Public Health programmes aimed at adults and young people, including smoking cessation, weight management and sexual health in place			
4.3.04 Promote sustainable travel as a safe and healthy option in line with the policies set out in the local transport plan	31/03/2019		Actions over the last Quarter include meeting with local businesses to discuss the possibility of a Business Improvement District (BID) on the southern business area. Dept was able to provide information on sustainable modes and update group on upcoming projects.
4.3.05 Work with Public Health to deliver health improvement schemes such as GP health screening, health checks at Bracknell Leisure Centre and books on prescription	31/03/2019		New initiative 'Back to Fitness' started November 2016, in partnership with Public Health, consisting of two sets of 8 week beginners fitness classes, designed to get inactive members of the community back into fitness, and ideally into a habit of attendance.
4.3.06 Undertake an annual programme of test purchasing age restricted products or services including tobacco, alcohol and gambling	31/03/2019		Due to staffing vacancies no UAS TPs were undertaken in this quarter. However one 5 day closure notice was issued and two premises accepted new conditions onto their licences relating to UAS following earlier failed test purchase operations.
4.4 Personal choices available to allow people to live at home are increased			
4.4.09 Meet the demand for home adaptations for local residents through the Disabled Facilities Grant scheme	31/03/2019		61 disabled facility grants have been completed this year to provide adaptations to assist residents in need to live in their own homes. Applications continue to be processed within agreed timeframes.

4.4.10 Provide the Flexible Home Loan scheme in order to support low income residents to facilitate minor repairs within their homes	31/03/2019		3 loan applications are in the process of being assessed prior to granting to assist elderly residents to improve their quality of life
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Ind Ref	Short Description	Previous Figure	Current figure	Current Target	Current Status
L003	Number of visits to leisure facilities (Quarterly)	912,656	1,312,873	710,000	
L015	Number of attendances for junior courses in leisure (Quarterly)	58,985	87,816	52,000	



5: A clean, green, growing and sustainable place			
Sub-Action	Due Date	Status	Comments
5.1 An up-to-date Local Plan that provides for economic growth and protects important open spaces is in place			
5.1.01 Develop a comprehensive Local Plan in line with the Local Development Scheme	31/03/2019		Issues and Options consultation completed in line with LDS. SHELAA was published for comments in November 2016 and the consultation was completed in December 2016.
5.2 The right levels and types of housing are both approved and delivered			
5.2.02 Complete the Strategic Housing Market Assessment (SHMA) and establish the Borough housing target to be delivered by 2036	31/03/2019		Berkshire (including S Bucks) SHMA completed and published.
5.2.03 Ensure suitable mitigation measures to protect the Thames Basin Heath Special Protection Area are secured to enable delivery of housing through the planning process	31/03/2019		SPA mitigation continues to be provided effectively ensuring that housing applications can be approved in a timely manner. Details being considered for the major new SANG at the TRL site in Crowthorne. Planning consent granted for new SANG at Wellers Lane in November 2016.
5.3 Appropriate infrastructure development is completed to support housing growth including; Warfield Link Road, Coral Reef Junction, Jennetts Park, town centre			
5.3.01 Deliver the transport improvements identified within the Infrastructure Delivery Plan, Transport Assessments and the Strategic Transport Action Plan	31/03/2019		Final stage improvements currently being applied to traffic signal junctions on the A322 corridor. Detailed design work continues on the A3095 (south) transport improvements and construction work on the A329 transport corridor is due to start in April 2017. Continued work to facilitate developer-led transport infrastructure, for example Warfield link road and associated junctions which will be completed by July 2017.
5.3.02 Undertake a review of the Community Infrastructure Levy (CIL) charging schedule	31/03/2017		Information on changes to the CIL Regulations should be included in the Housing Bill expected in January 2017. In light of the uncertainties about the future of CIL it is not proposed to commence the CIL review at present. The current CIL regime in Bracknell Forest is delivering income in excess of the annual target and does not appear to have stifled development.
5.4 Neighbourhood Plans and Community Infrastructure Levy (CIL) to support local community facilities and other infrastructure are in place			
5.4.01 Develop agreement of the Borough Council and Town and Parish Councils CIL spending priorities	31/03/2019		Meetings with the Parish Councils have taken place, initial lists of priorities have been received from Five of the parishes and these have been assembled into a schedule, identifying priorities already on the 123 list,

			other joint priorities and parish specific priorities.
5.6 Resident satisfaction levels with parks and open spaces is maintained			
5.6.01 Delivery of Special Protection Area (SPA) mitigation with enhancement to Suitable Alternative Natural Green Space (SANGS)	31/03/2019		Enhancements at Suitable Alternative Natural Green Spaces (SANGS) are progressing well, with unallocated enhancements totalling £251,445 completed as at 31 December 2016, through the pump priming process. A further £15,720 of enhancement is instructed and pending in the quarter, with proposed projects of £147,780 identified but not yet ordered, for completion as required to stay ahead of projected housing delivery.
5.7 Cleanliness of the borough is maintained to defined environmental standards			
5.7.01 Maintain public realm land to relevant Environmental Protection Act (EPA) and contractual standards	31/03/2019		Random inspections indicate high standard of cleanliness maintained. This is backed up the National Highways & Transport public satisfaction survey 2016 which places Bracknell Forest as the best performer nationally for cleanliness of streets and pavements (undertaken by Ipsos Mori)
5.7.02 Take appropriate action in response to fly tips on Council owned and private land	31/03/2019		All service requests are investigated and appropriate action under taken in line with the Enforcement policy. In Q3 there have been 47 reports relating to dumped rubbish on land. There are 3 ongoing investigations and 2 notices have been served upon landowners to clear the rubbish
5.8 The cost of waste disposal, supported by a recycling rewards scheme is reduced			
5.8.01 Increase recycling and reduce dependence on landfill	31/03/2019		Results are for Q2 and at the half year the recycling and landfill percentages are good with landfill being the lowest ever figure recorded for the borough
5.8.02 Increase the number of recycling sites across the Borough including the Town Centre and revise Waste Planning Guidance for developers	31/03/2019		Two new recycling sites for glass installed in December at Warren Row shops, N Ascot and Asher Recreation Ground, Winkfield. One recycling site had to be removed at The Look Out due to car parking issues.
5.8.03 Implement a new Waste Strategy to 2020	31/03/2019		Comments as previous quarter - report being prepared to propose future waste collection options in January.
5.8.04 Continue to support the development of the recycling reward scheme	31/03/2019		There are now 13,600 residents participating in the recycling incentive scheme and kerbside recycling is improving

Ind Ref	Short Description	Previous Figure	Current figure	Current Target	Current Status
NI157a	Percentage of major applications determined in 13 weeks (Quarterly)	100%	92%	80%	

Ind Ref	Short Description	Previous Figure	Current figure	Current Target	Current Status
NI157b	Percentage of minor applications determined in 8 weeks (Quarterly)	88%	88%	80%	
NI157c	Percentage of other applications determined in 8 weeks or within an agreed extension of time period (Quarterly)	92%	92%	80%	
NI192	Percentage of household waste sent for reuse, recycling and composting (Cumulative figure for 16/17 reported quarterly in arrears)	42.1%	41.8%	41.0%	
NI193	Percentage of municipal waste land filled (Cumulative figure for 16/17 reported quarterly in arrears)	19.55%	19.20%	22.00%	
L146.1	Percentage of borough where environmental cleanliness is above EPA standard - Litter (Quarterly)	100.0%	100.0%	99.0%	
L146.2	Percentage of borough where environmental cleanliness is above EPA standard - Detritus (Quarterly)	99.6%	94.6%	98.5%	
L146.3	Percentage of borough where environmental cleanliness is above EPA standard - Graffiti and Fly posting (Quarterly)	100.0%	100.0%	99.0%	
L241	Income from CIL (Quarterly)	1,533,706	971,518	205,598	
L284	Number of homes given planning permission (Quarterly)	677	739		
L286	Percentage of successful planning appeals (Quarterly)	67.0%	22.0%	66.0%	

Section 3: Operational Priorities

7: Operational			
Sub-Action	Due Date	Status	Comments
7.4 Environment, Culture & Communities			
7.4.01 Continue to benchmark income/charges against market rates (Building Control & Land Charges) to ensure charges are competitive	01/04/2019		Charges are recovering costs. Market share remains strong and charges are competitive in local area.
7.4.02 Ensure chargeable activities are reflective of actual service costs incurred in Planning and Transport	30/09/2016		Where charges are not set by regulation at a national level cost recovery is being sought. This is regularly reviewed though fees and charges. The division is currently reviewing the Road Permit scheme to ensure the costs of the scheme are recovered.
7.4.03 Carry out a review of pre-application charging in planning, with a focus on customer service and expectation	31/03/2019		The New Pre app service and associated charges were implemented in November 2016
7.4.04 Use monthly budget monitoring reports to identify and address any emerging overspends promptly	31/03/2017		Through regular monitoring and reporting, to November the Department has identified net underspends of nearly £500m. This will help in balancing the Councils overall position as overspends have been identified in other Departments.
7.4.05 Support and promote Primary Authority initiative in respect of trading standards and environmental health	31/03/2017		Discussions are ongoing with two businesses regarding potential PA agreements
7.4.06 Use the food hygiene rating system to seek improvements in Food Hygiene standards in the borough	31/03/2019		The level of premises rated 4/5 increased in qtr. 3 to 85.1 %. Officers continue to focus upon educating and supporting business to improve standards of food hygiene in their premises to protect consumers and improve opportunities for business development.
7.4.07 Work in partnership with the Town and Parish Councils to ensure a co-ordinated approach to infrastructure improvements	31/03/2019		Four out of six Town & Parish Councils have submitted tables of their spending priorities. The Council's first CIL annual monitoring report was published in December covering the year from 6 April 2015 to 5 April 2016. There were two items of CIL infrastructure expenditure for that year; the Coral Reef Roundabout improvements and SPA mitigation measures. A proportion of CIL income has been paid to Town and Parish Councils in accordance with the Regulations.

7.4.08 Facilitate public safety on the transport network by making improvements to the physical infrastructure of the highway network	31/03/2017		Police road casualty data continues to be monitored and casualty reduction schemes identified for inclusion within the Transport Capital Programme. This year's identified schemes are at the construction phase.
7.4.09 Continue joint visits with Thames Valley Police on licensing, underage sales and road safety checks in order to improve public safety	31/03/2019		A joint operation between Licensing and TVP was carried out on the 21 December to look at private hire vehicle operations. Members of the Licensing and Safety Committee were invited to see the work that was carried out and two attended
7.4.10 Work with the Berkshire Safety Partnership on road safety matters including - casualty reduction, road safety awareness, speed management, public safety at events, road safety audit of transport proposals	31/03/2019		Actions over the last quarter include meeting with the safer roads partnership and beginning discussions with partners on the extension of the Safer roads contract.

Section 4: People

Staffing levels

	Establishment Posts	Staffing Full Time	Staffing Part Time	Total Posts FTE	Vacant Posts	Vacancy Rate
Directorate (DMT plus PA's)	7	7	0	7.00	0	0.00%
Environment & Public Protection	72	57	8	59.44	7	9.72%
Leisure & Culture	327	116	178	194.51	33	10.09%
Performance & Resources	30	21	8	26.36	1	3.33%
Planning & Transport	112	85	21	99.20	6	5.36%
Department Totals	548	286	215	386.51	47	8.58%

Staff Turnover

For the quarter ending	31 December 2016	1.80%
For the last four quarters	1 January – 31 December 2016	11.48%

Comparator data	
Total voluntary turnover for BFC, 2015/16:	14.3%
Average UK voluntary turnover 2015:	16.1%
Average Local Government England voluntary turnover 2014/2015:	13.5%

Source: XPertHR Staff Turnover Rates and Cost Survey 2015 and LGA Workforce Survey 2014/15

Comments:

The vacancy rate has decreased this quarter from 8.79% last quarter to 8.58% this quarter. This is due to there being 1 less vacancy (47) compared to last quarter (48).

Quarterly staff turnover has decreased this quarter with 13 less leavers this quarter compared to last quarter.

Annual staff turnover has increased to 11.48% this quarter compared to 9.15% last quarter. This is due to 65 leavers in the year to 31 December 2016 compared to 51 leavers in the year ending 30 September 2016.

Staff sickness

Section	Total staff	Number of days sickness	Quarter 3 average per employee	2016/17 annual average per employee
Directorate (DMT plus PA's)	7	2.0	0.29	1.14
Environment & Public Protection	65	77.5	1.19	4.44
Leisure & Culture	294	390.5	1.33	5.38
Performance & Resources	29	139.0	4.79	16.14
Planning & Transport	106	166.5	1.57	5.92
Department Totals (Q3)	501	775.5	1.55	
Totals (16/17)		2227.5		5.86

- Note: Projected average sickness per employee is calculated by adding together the average per person for Q1, Q2 and Q3, dividing by 3 and multiplying by 4

Comparator data	All employees, average days sickness absence per employee
Bracknell Forest Council 15/16	5.9 days
All local government employers 2015	9.9 days
Average Local government England Sickness 2014/15	8.5 days

Source: Chartered Institute of Personnel and Development Absence Management survey 2015 and LGA Workforce Survey 2014/15

Comments:

Sickness this quarter has increased compared to last quarter (712 days), which is mainly due to an increase in short-term sick (457.5 days this quarter) compared to last quarter (356 days). Long-term sick decreased (318 days this quarter) compared to last quarter (356 days). The figures for Performance and Resources continues to be high, due to two people remaining on long-term sick. This quarter's split between short term and long term (59% : 41%) does not mirror normal sickness levels (around 50:50 split). The projected annual average per employee has risen very slightly to 5.86 days (5.82 days last quarter). It should be noted that 2 employees who were on long-term sick this quarter returned to work before the end of this quarter.

Section 5: Complaints

Corporate complaints

Stage	New complaints activity in quarter	Complaints activity year to date	Outcome of total complaints activity year to date
Stage 2	1	6	6 not upheld
Stage 3	0	3	3 not upheld
Local Government Ombudsman	0	2	1 not upheld 1 upheld – maladministration – no injustice
TOTAL	1	11	As above

NOTE: The table excludes Stage 1 complaints and those complaints which are dealt with through separate appeals processes. It should also be noted that complaints which move through the different stages are recorded separately at each stage.

Nature of complaints/ Actions taken/ Lessons learnt:

- Tree issues
- Incorrect information related to the Community Infrastructure Levy

Compliments

Number of compliments received in quarter	Nature of compliments
58	Excellent customer service across a variety of EC&C Divisions

Annex A: Financial information

ENVIRONMENT, CULTURE & COMMUNITIES BUDGET MONITORING 2016/17							
	Net Original Budget	Virements & Budget Cfwds	Current Approved Budget	% Spend to Date	Departments Projected Outturn	Variance Over/(Under) Spend	Variance This Quarter
	2016/17						
	£000	£000	£000		£000	£000	£000
Director of Environment, Culture & Communities							
Director and Support	196	18	214	70%	214	0	
Training, Marketing, Research and Development	19	0	19	16%	19	0	
	215	18	233		233	0	0
Chief Officer Leisure & Culture							
Archives	113	0	113	47%	113	0	
South Hill Park	458	-44	414	74%	414	0	
Community Arts and Cultural Services	2	0	2	0%	2	0	
Sports Development & Community Recreation	70	2	72	58%	72	0	
The Look Out	-87	7	-90	464%	-90	0	
Edgbarrow/Sandhust Sports Centres	163	8	171	121%	246	75	45
Bracknell Leisure Centre	746	45	791	31%	691	-100	0
Coral Reef	-121	5	-116	-229%	-90	26	26
Hamanswater Swimming Pool	6	1	7	86%	7	0	
Easthampstead Park Conference Centre	198	3	201	50%	151	-50	
Horseshoelake Water Sports	25	0	25	56%	25	0	
Downshire Golf Complex	2	-6	-4	4075%	71	75	15
Libraries	1,680	-90	1,590	62%	1,620	30	
	3,245	-69	3,176		3,232	56	86
Chief Officer Environment & Public Protection							
Waste Management	7,486	-9	7,477	57%	7,351	-126	3
Street Cleaning	767	-45	722	55%	722	0	
Highway Maintenance (Including Street Lighting)	4,203	-1,151	3,052	69%	3,103	51	51
On/Off Street Parking	-12	78	66	95%	66	0	
Easthampstead Park Cemetery & Crematorium	-1,095	4	-1,091	63%	-1,091	0	
Regulatory Services (Including Licensing)	1,097	32	1,129	59%	1,129	0	
Emergency Planning	68	6	74	65%	74	0	
Parks, Open Spaces & Countryside	646	-24	622	56%	632	10	
Other	188	-1	187	35%	228	41	
	13,348	-1,110	12,238		12,214	-24	54
Chief Officer Planning, Transport & Countryside							
Transport Policy, Planning & Strategy	459	249	708	41%	708	0	
Traffic Management & Road Safety	682	-15	667	55%	667	0	
Public Transport Subsidy incl Concessionary Fares	1,716	-13	1,703	54%	1,478	-225	-100
Building Control	43	-23	20	-720%	-50	-70	-70
Development Control	53	46	99	-10%	79	-20	-20
Planning Policy (including Local Transport Plan)	491	245	736	41%	726	-10	-10
Local Land Charges	-81	8	-73	45%	-73	0	
Energy Management	99	-40	59	63%	59	0	
Parks, Open Spaces and Countryside	1,019	131	1,150	36%	1,150	0	
Other	235	5	240	60%	245	5	5
	4,716	593	5,309		4,989	-320	-195
Chief Officer Performance & Resources							
Departmental Management	419	1	420	71%	420	0	
Departmental Support Services	976	-14	962	69%	962	0	
Departmental Personnel Running Expenses	53	0	53	26%	53	0	
Departmental Office Services Running Expenses	110	-1	109	36%	89	-20	-20
Departmental IT Running Expenses	201	15	216	59%	196	-20	
Smart Card	170	1	171	6%	171	0	
	1,929	2	1,931		1,891	-40	-20
Total Cash Budgets	23,453	-566	22,887	54%	22,559	-328	-75
Non Cash Budgets							
IAS19	1,381	0	1,381		1,381	0	
Corporate / Departmental Recharges	3,052	0	3,052		3,052	0	
Capital Charges	6,227	0	6,227		6,227	0	
	10,660	0	10,660		10,660	0	0
TOTAL ENVIRONMENT & LEISURE SERVICES	34,113	-566	33,547		33,219	-328	-75
Memorandum item :-							
Devolved Staffing Budget			16,121		16,121	0	0

Financial Information – Table 2

Virements

Note	Total	Explanation
	£'000	
	(1,365)	Virements reported Quarter 2
a	38	<p>Parks Open Space & Countryside</p> <p>Additional land, Harrier Green, has now been transferred to BFC from the Consortium in Jennetts Park, a commuted sum of £2,943.88 is to be drawn down from reserves to enable the Rangers to undertake the necessary work on the land.</p> <p>In addition £34,590, from YN479 S106 Manor Farm, is held within the same reserve and is required for the replacement of trees on open space adjacent to The Cut linking Anneford Place Park for which the Council is responsible.</p>
b	84	<p>On/Off Street Parking</p> <p>Contingency funding received to support the costs of the residents parking scheme trial, which was extended to the 31st March 2017.</p>
c	(42)	<p>Gas & Electricity Contracts</p> <p>The new contract prices for gas and electricity with effect from 1 April 2016 have now been applied to the updated volumes of energy consumption at the various sites, the decrease in costs for Environment, Culture and Communities is £41,920, this reduction in budget is to be transferred to the Contingency Fund.</p>
d	0	<p>Departmental Training Budgets</p> <p>A virement of £3,000 was made from Performance and Resources training budget to the Planning Transport & Countryside training budget to reflect the training requirements within the Department.</p>
e	(3)	<p>Fire Alarm Contract</p> <p>A new corporate contract has now been let to cover fire alarms at all Council buildings. A saving will be achieved across the Council, which was budgeted for within Corporate Services, the amount in ECC is £3,360, the budget for which now needs to be vired.</p>
	77	Virements Reported in Third Quarter
	(566)	Total Virements Reported To Date

Financial Information - Table 3

Variances

Note	Total £'000	Explanation
	(253)	Variances Reported Quarter 2
a	(17)	Waste Management The provisional figures include monthly disposal savings associated with Recycling Centre access restrictions and charges. Taking into account anticipated tonnages for December to March an increase of £16,620 is anticipated to take the overall underspend to £135,860.
b	45	Edgbarrow/Sandhurst Sports Centres Income across both Edgbarrow and Sandhurst continues to decline due to the uncertainty of the future of the sites. The previously reported overspend of £30,000, has now risen to £75,000.
c	(50)	Bracknell Leisure Centre Bracknell Sports Centre has seen a continued improvement in sales due to changes made to its marketing and sales functions, and as a result the underspend previously reported for additional income has increased from £100,000 to £150,000.
d	(70)	Building Control Income in the first 8 months of the year has been greater than that budgeted for, and the need to use consultants for additional specialist advice has not been as great as estimated. The net effect of this is anticipated to be a surplus of £70,000
e	(100)	Concessionary Fares The passenger numbers for the third quarter have continued to decline. As previously reported it is anticipated that this trend will continue into 2017/18 until the opening of the new town centre, at which point trip rates are expected to increase. It is therefore estimated that the annual saving will be £225,000 compared to the £125,000 previously reported.
f	5	Planning, Transport and Countryside – Other The final costs of the town centre fountains (including capping) which had been in operation until July, exceeded the budget which had formed part of the in year savings package.
g	20	Waste Management Inspections undertaken by the Care Quality Commission over the last two years have resulted in a change of practice at local GP surgeries in respect of taking back sharps from patients and disposing of them as clinical waste. This change has resulted in a budget pressure for the Council who have a legal duty to collect sharps from residents and a saving for the local surgeries This represents a substantial increase in cost that falls outside the current contract. We are currently facing a pressure of approximately £20k pa.

h	51	Highway Maintenance An unprecedented number of abnormal loads and subsequent safety inspections has placed a pressure on the budget for bridges and structures .
i	(10)	Planning Policy The budget for Community Infrastructure Levy income has been achieved for the year. Projections for the remainder of the year, net of expenditure, indicate an underspend of £10,000.
j	(20)	Development Control Following receipt of several large planning application fees, and four planning performance agreement fees, the income budget is anticipated to be exceeded by £20,000.
k	(20)	Departmental Office Services Running Costs Various supplies and services budgets, including office stationery, printing, telephones and licences are estimated to be £20,000 underspent for the year.
l	91	Leisure Sites As part of the market testing exercise, and following advice from the Council's Leisure consultant, priority 1 works identified in the site condition surveys for Bracknell Leisure Centre, Coral Reef and Downshire Golf Complex must be completed before any new contract starting. If this does not occur any new contractor will price in the risk of these works along with potential compensation should faults occur with the building which stop or reduce income generation. The costs of the works identified are: Bracknell Leisure Centre £0.050m, Coral Reef £0.026m, Downshire Golf Complex £0.015m. These costs are offset by the previously reported underspend reported by Bracknell Leisure Centre.
	(75)	Variances Reported in Third Quarter
	(328)	Total Variances Reported To Date

Financial Information - Table 4
CAPITAL MONITORING 2016/17

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YH016	Disabled Facilities Grant	880.0	623.0	329.4	103.0	623.0	257.2	0.0	EPP	Mar-17	The spend to date is £329k with £103k approved but not spent and £279k estimated for possible cases.
107 YL009	Minor Works Programme	136.3	136.3	45.7	22.8	136.3	0.0	0.0	L&C	Mar-17	Orders placed for BLC fitness equipment. Orders being placed for DGC (driving range improvements and tees/bunkers/path improvements). The drainage works at Downshire are dependant on weather and may require a carry forward.
YL011	Parks & Open Spaces S106 Budget Only	34.5	34.5	0.0	34.5	34.5	0.0	0.0	PTC	Mar-17	Biodiversity enhancements project in place and expected to utilise remaining budget.
YL152	Grass Cutting Equipment	35.0	35.0	34.9	0.0	34.9	0.0	-0.1	L&C	May-16	Complete

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YL255	Minor Works/Improvements	57.4	57.4	0.0	0.0	57.4	0.0	0.0	L&C	Mar-17	Quotes being finalised in January 2017 (new exhibits at The Look Out and security gates at EPCC). No orders placed yet.
108 YL265	SPA Mitigation Strategy (S106)	197.9	85.9	0.0	0.0	85.9	112.0	0.0	PTC	Mar-17	Implementation of project works is subject to planning approvals for new housing and associated s106 agreements (re. The Thames Basin Heaths SPA). Progress and priorities are reviewed monthly in liaison with Spatial Policy and Finance. Relevant levels of work are planned to maintain pump priming.
YM007	Capitalisation of Revenue (Highways)	208.2	208.2	0.0	0.0	208.2	0.0	0.0	EPP	Mar-17	Works projects in development
YP001	School Warning Lights	66.1	66.1	31.0	0.0	66.1	0.0	0.0	PTC	Mar-17	Carry forwards spent, remainder to be ordered

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'nts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP003	Mobility/ Access Improvement Schemes	85.0	85.0	34.0	12.0	85.0	0.0	0.0	PTC	Mar 17	First phase of Zebra crossing improvements complete along with minor pedestrian improvements. Easthampstead Park School cycle shelter to follow once method statement agreed by planning.
109 YP006	Local Safety Schemes	136.1	136.1	46.2	16.0	136.1	0.0	0.0	PTC	Mar 17	Carry forward to construct Old Wokingham Road Local Safety Scheme complete. Ambarrow Lane and Lovel Road junction North Street on site.
YP007	Maintenance Street Lighting	150.0	150.0	8.8	0.0	150.0	0.0	0.0	EPP	Mar-17	Works projects in development
YP009	Structural Maintenance of Bridges	275.4	275.4	31.0	83.6	275.4	0.0	0.0	EPP	Mar-17	Works on site will begin as road space permits.
YP013	Land Drainage	288.5	288.5	179.6	105.0	288.5	0.0	0.0	EPP	Mar-17	Works on site will begin as space permits.

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'nts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP113	Road Surface Treatments	1,455.0	1,455.0	1,392.8	62.2	1,455.0	0.0	0.0	EPP	Mar-17	Further works programmes in development for Autumn/Spring.
YP162	Traffic Management Schemes	140.3	130.3	22.4	4.0	125.0	10.0	-5.3	PTC	Apr-17	Carry forward to complete Park Road Old Wokingham Road Speed Management Schemes complete. This year's schemes out to member consultation.
110 YP225	Traffic Modelling	17.9	17.9	0.0	0.0	0.0	17.9	0.0	PTC	Jun 16	Model refresh delayed
YP247	Bracknell Railway Station Enhancements	39.8	25.0	15.0	10.0	25.0	14.8	0.0	PTC	Dec-17	Preliminary design by SHP. C/forward required for future station artwork.
YP258	SANGS - Enhancement Works	167.9	167.9	74.2	39.9	167.9	0.0	0.0	PTC	Mar 17	Budget required for pump priming work for SANGS, potential works arising from Regulation 63 of Habitat Regulations.

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP269	Residential Street Parking	100.0	100.0	179.3	80.0	179.3	0.0	0.0	PTC	Mar 17	£160k to be provided by BFH. Phase 1 and 2 complete - phase 2 being designed. Invoice to be issued to BFC in January 2017.
YP306 111	Maintenance of Car Parks	660.5	517.5	108.0	402.5	517.5	143.0	-7.0	EPP	Mar 18	Wall treatments finished, toilets and lifts in hand, white lining and decking repairs to be effected.
YP349	Green & Blue Waste Bins	63.6	63.6	55.2	5.4	63.6	0.0	0.0	EPP	Mar-17	Transfer from Revenue for the purchase of blue & green bins.
YP355	Town Centre Highway Works	5,704.8	4,304.8	3,531.2	197.8	4,304.8	1,400.0	0.0	PTC	Mar-18	Detailed design stage on a number of Town Centre Regeneration highway improvement schemes. Millennium Way and Met Office schemes on site.
YP359	Play Area Rolling Programme	70.0	70.0	70.0	0.0	70.0	0.0	0.0	PTC	Sep 16	Works complete

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP364	Westmorland Park - Quality Improvements	0.0	0.0	1.3	0.0	1.3	0.0	1.3	PTC	Apr-16	Project complete
YP422	Upgrade Leisure Management System	103.4	103.4	18.3	3.5	83.4	20.0	0.0	P&R	Aug 17	Testing of leisure management system progressing well. Officer training being organised. Go live on track for end January 2017.
YP423	Linking Confirm to Corporate ERDMS - Smart Office	76.0	76.0	41.2	0.0	76.0	0.0	0.0	P&R	Dec-16	Projected completed
YP428	S106 Parks & Open Spaces Improvements Programme	33.2	33.2	30.8	6.6	33.2	0.0	4.1	PTC	Mar-17	All works on target for completion
YP439	Urban Traffic Management Control	100.0	100.0	24.7	3.7	100.0	0.0	0.0	PTC	Mar-17	Schemes have been programmed for completion throughout the year.

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP442	Coral Reef Enhancement Project	11,586.3	8,100.3	3,590.8	7,270.8	8,100.3	3,486.0	0.0	L&C	Aug-17	Construction works commenced on site on the 20th June 2016. Well are progressing well and currently on target to be completed as programme and within budget.
YP443	Bus Station Improvements	0.0	0.0	-8.0	1.3	-6.7	0.0	-6.7	PTC	Mar 17	Complete
113 YP446	Access to Employment Areas	70.8	24.2	2.3	22.0	24.2	46.6	0.0	PTC	Mar 17	Money allocated to implement the cross Berkshire national cycle route. The scheme is not ready to be implemented this year as still being discussed by neighbouring authorities.
YP447	Development Highway Capacity & Road Space Schemes	20.0	20.0	0.0	20.0	20.0	0.0	0.0	PTC	Mar-17	Design Fees
YP451	Car Park Improvement / Refurbishme	133.8	133.8	98.0	35.8	133.8	0.0	0.0	EPP	Mar-17	Floor upgrade in cores completed. Upgrade to IT in hand.

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'nts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
	nt										
YP452	Car Park Lighting High Street	143.7	143.7	152.6	0.0	152.6	0.0	8.9	EPP	Aug 16	This project is now complete
YP453	Coral Reef Roundabout Signalisation	476.0	476.0	414.9	0.0	476.0	0.0	-11.0	PTC	Sep 16	Works complete.
YP456	Update Traffic Signal Infrastructure	208.7	208.7	153.8	0.0	208.7	0.0	0.0	PTC	Mar-17	Rackstraws signal replacement in progress on site.
YP458	Road Surfacing - Pot Hole Fund	101.0	101.0	0.0	0.0	101.0	0.0	0.0	EPP	Mar-17	Works projects in development for Autumn 16/Spring 17
YP459	Improvements Lily Hill Park - Bracknell Rugby Club	17.7	0.0	0.0	0.0	0.0	17.7	0.0	PTC	Mar-18	Phase 1 work completed in 2014-15. Bracknell Rugby Club is leading re. Phase 2 with works being planned for completion this year. Lease extension currently in progress for the club to release external match funding, but inconsistent communication/

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
											action from club makes it difficult to be certain of delivery.
YP462	Replacement Leisure Management Card Payment Devices	22.0	15.0	0.0	0.0	15.0	7.0	0.0	P&R	Jun-17	Order raised with Capita for integration. Chip and Pin machines bought separately as current ones out of warranty on 31 December 2016.
YP465	Warfield Link Road - Local Growth Fund	1,055.2	1,055.2	860.6	0.0	1,055.2	0.0	0.0	PTC	Mar-17	Work on the road by Berkley Homes has commenced, payments are to be made on a quarterly basis. The overall scheme will take two years to complete.
YP470	Footway / Cycle track along Ringmead	46.8	46.8	52.1	0.0	52.1	0.0	5.3	PTC	Sep 16	Works complete

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
YP473	Bill Hill Improvement Works	59.5	59.5	33.5	26.5	59.5	0.0	0.6	PTC	Mar 17	All works ordered and on target for completion.
YP476	Replacement of M3 Software (Invest to Save)	70.5	55.5	20.9	30.0	55.5	15.0	0.0	P&R	Sep-17	Testing of second test load complete. Officer training planned. Go live of phase 1 in mid February 2017.
YP478 116	Bracknell Railway Station Improved Passenger Facilities	205.0	205.0	0.0	205.0	205.0	0.0	0.0	PTC	Mar-17	Work has commenced December 2016 and due for completion March 2017.
YP479	Replacement Led Street Lights	3,650.0	3,650.0	652.6	6.4	3,650.0	0.0	0.0	EPP	Mar-17	Works on site commenced in August 2016. Further phases in development.
YP482	Chapel at Cem & Crem	1,000.0	250.0	124.4	16.3	250.0	750.0	0.0	EPP	Mar-18	Waiting planning. Tenders being sought for the chapel works. Tenders likely to exceed budget, but will be engineered downwards to remain within

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
											budget. Main construction works due to commence April 2017, car park works Jan/Feb.
YP483	Leisure Replacement Catering System	80.0	51.0	0.0	0.0	51.0	29.0	0.0	P&R	Aug-17	Contract awarded. Project kick off being arranged.
YP484	BLC Main Sports Hall Refurbishment	75.0	75.0	32.0	31.8	75.0	0.0	0.0	L&C	Mar 17	Order placed for work to be undertaken during October & November.
YP485	Bracknell Library - Introduction Self Service	110.0	0.0	0.0	0.0	0.0	110.0	0.0	P&R	Mar-18	The project has been out on hold awaiting completion of the library service transformation review. This will enable procurement of a technology led solution for the whole service that is anticipated will include self-issue.
YP486	Trees Woodland Management	75.0	5.0	0.0	0.0	5.0	70.0	0.0	PTC	Mar-18	In progress. Significant preparation work underway, strategy

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'nts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
											development, forestry commission approvals etc. project will realistically span more than one year
YP487	Downshire Way Widening Ph2	330.0	330.0	36.9	1.9	330.0	0.0	0.0	PTC	Mar-17	Ed and being programmed for early 2017.
YP488	London Rd Martins Heron Roundabout	50.0	50.0	1.0	0.0	50.0	0.0	0.0	PTC	Mar-17	Design and prep work for next year's scheme
YP492	GIS Replacement (Invest To Save)	52.2	52.2	27.7	13.1	52.2	0.0	0.0	P&R	Mar-17	Public GIS browser being tested. Internal GIS browsers being configured. Go live on track for end of January 2017.
YP493	Charles Square Car Park Lifts (S106)	66.0	0.0	0.0	66.0	0.0	66.0	0.0	EPP	Mar-17	Project managed by surveyors - works will be completed in next financial year.
YP495	Binfield Football Club Grant	45.0	45.0	45.0	0.0	45.0	0.0	0.0	PTC	Jul 16	Complete grant paid
YP496	Beedon Drive Open Spaces (S106)	16.5	16.5	7.6	6.1	16.5	0.0	0.0	PTC	Mar 17	In progress. Gym equipment installed. Season works to

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'nts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
											grass to complete this quarter.
YP497	Subway Improvements	100.0	40.0	13.4	0.0	40.0	60.0	0.0	EPP	Jul 17	Scheme commenced. Projection completion date dependant upon weather and decisions re public art.
YP499	Sandhurst Memorial Park & Shepherds Meadow (S106)	0.9	0.9	0.9	0.0	0.9	0.0	0.0	PTC	Mar 17	Complete. Grant paid to Sandhurst Town Council
YP500	South Hill Park (S106)	35.0	34.0	0.0	8.0	34.0	1.0	0.0	PTC	May 17	In progress. Carry forward expected for the creation of the leaflet to accompany and explain the educational trail. It is unlikely that this can be delivered in this financial year, but all the practical elements of the project will be done. The leaflet will need to include pictures of

UNRESTRICTED

Cost Centre	Cost Centre Description	Approved Budget	Cash Budget 2016/17	Expenditure to Date	Current Comm'n'ts	Estimated Outturn 2016/17	Carry Forward 2017/18	(Under) / Over Spend	Div	Target for Completion	Current Status of Project / Notes
		£000's	£000's	£000's	£000's	£000's	£000's	£000's			
											the finished installation, so work on the design can only start when the physical part of the project is done
YP501	Bluebell Hill (S106)	11.0	11.0	0.0	0.0	11.0	0.0	0.0	PTC	Mar 17	In progress. Delivery expected this financial year, weather permitting.
YP502	Frog & Domesday Copse (S106)	7.1	7.1	0.0	0.0	7.1	0.0	0.0	PTC	Mar 17	In progress. Delivery expected this financial year, weather permitting.
120		31,228.7	24,595.6	12,623.8	8,986.3	24,678.1	6,633.2	-10.0			

Annex B: Annual indicators not reported this quarter

Council Plan indicators

Ind. Ref.	Short Description	Quarter due
2. A strong and resilient economy		
NI167	Congestion - average journey time per mile during the morning peak (Annually)	Q2
5. A clean, green, growing and sustainable place		
NI192	Percentage of household waste sent for reuse, recycling and composting	Q1
NI193	Percentage of municipal waste that goes to landfill	Q1
NI168	Principal roads where maintenance should be considered	Q4
NI169	Non-principal classified roads where maintenance should be considered	Q4
L285	Satisfaction with parks and open spaces	Q4

Operational indicators

Ind. Ref.	Short Description	Quarter due
NI197	Improved local biodiversity - proportion of local sites where positive conservation management has been or is being implemented	Q2
L227	Annual volunteer hours contributed to parks and open spaces	Q4
L228	Annual volunteer hours for the library service	Q4
L304	Number of Green Flag awards	Q4
L296	Percentage of Highways Public liability claims settled	Q4
L306	Percentage of unclassified roads where maintenance should be considered	Q4

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**TO: ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL
7 MARCH 2017**

**EXECUTIVE KEY AND NON-KEY DECISIONS RELATING TO
ENVIRONMENT, CULTURE AND COMMUNITIES
Assistant Chief Executive**

1 PURPOSE OF REPORT

- 1.1 This report presents scheduled Executive Key and Non-Key Decisions relating to Environment, Culture and Communities for the Panel's consideration.

2 RECOMMENDATION(S)

- 2.1 **That the Environment, Culture and Communities Overview and Scrutiny Panel considers the scheduled Executive Key and Non-Key Decisions relating to Environment, Culture and Communities appended to this report.**

3 REASONS FOR RECOMMENDATION(S)

- 3.1 To invite the Panel to consider scheduled Executive Key and Non-Key Decisions.

4 ALTERNATIVE OPTIONS CONSIDERED

- 4.1 None.

5 SUPPORTING INFORMATION

- 5.1 Consideration of scheduled Executive Key and Non-Key Decisions alerts the Panel to forthcoming Executive decisions and facilitates pre-decision scrutiny.
- 5.2 To achieve accountability and transparency of the decision making process, effective Overview and Scrutiny is essential. Overview and Scrutiny bodies are a key element of Executive arrangements and their roles include both developing and reviewing policy; and holding the Executive to account.
- 5.3 The power to hold the Executive to account is granted under Section 21 of the Local Government Act 2000 which states that Executive arrangements of a local authority must ensure that its Overview and Scrutiny bodies have power to review or scrutinise decisions made, or other action taken, in connection with the discharge of any functions which are the responsibility of the Executive. This includes the 'call in' power to review or scrutinise a decision made but not implemented and to recommend that the decision be reconsidered by the body / person that made it. This power does not relate solely to scrutiny of decisions and should therefore also be utilised to undertake pre-decision scrutiny.

6 ADVICE RECEIVED FROM STATUTORY AND OTHER OFFICERS

- 6.1 No advice was sought from the Borough Solicitor, the Borough Treasurer or Other Officers or sought in terms of Equalities Impact Assessment or Strategic Risk Management Issues. Such advice will be sought in respect of each Executive decision item prior to its consideration by the Executive.

7 CONSULTATION

- 7.1 None.

Background Papers

Local Government Act 2000

Contact for further information

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ENVIRONMENT, CULTURE & COMMUNITIES OVERVIEW & SCRUTINY PANEL**EXECUTIVE WORK PROGRAMME**

REFERENCE:	I066883
TITLE:	Biodiversity Enhancement Project across Bracknell Forest Borough
PURPOSE OF REPORT:	<p>To seek approval for the allocation of S106 funding (£34,530) to support biodiversity enhancements at Bracknell Forest Council managed sites (parks, open spaces and Roadside Nature Reserves) across the borough.</p> <p>To confirm which financial contributions secured from developers under Section 106 of the Town and Country Planning Act 1990 will be applied to the project.</p> <p>To confirm that the improvements will be implemented by Bracknell Forest Council, Parks and Countryside service, if approved.</p>
DECISION MAKER:	Executive Member for Culture, Corporate Services and Public Protection
DECISION DATE:	28 Feb 2017
FINANCIAL IMPACT:	The financial implications are set out in the report
CONSULTEES:	Priorities have been identified in discussion through consultative mechanisms such as the Local Countryside Access Forum and Parish Parks and Public Realm Forum, and consultation prior to publications of the Parks & Open Spaces Strategy in 2012
CONSULTATION METHOD:	Sent to Ward Councillors and local Parish/Town Councils

Unrestricted

REFERENCE:	I066665
TITLE:	Extension of Bikeability cycle training contract
PURPOSE OF REPORT:	To extend the existing cycle training with Cycle Experience for a further three years following the award of further government grant funding.
DECISION MAKER:	Executive Member for Planning & Transport
DECISION DATE:	1 Mar 2017
FINANCIAL IMPACT:	Central Government Grant
CONSULTEES:	None.
CONSULTATION METHOD:	None

REFERENCE:	I064182
TITLE:	Easthampstead Park Cemetery & Crematorium - Additional Chapel
PURPOSE OF REPORT:	To approve the award of the works contract.
DECISION MAKER:	Executive Member for Culture, Corporate Services and Public Protection, Director of Environment, Culture & Communities
DECISION DATE:	2 Mar 2017
FINANCIAL IMPACT:	Within the approved Invest-to-Save budget.
CONSULTEES:	Borough Solicitor Borough Treasurer
CONSULTATION METHOD:	By report

Unrestricted

REFERENCE:	I065838
TITLE:	Design Supplementary Planning Document
PURPOSE OF REPORT:	To approve a Design SPD to provide guidance on designing new housing schemes, extensions and alterations to existing properties
DECISION MAKER:	Executive
DECISION DATE:	14 Mar 2017
FINANCIAL IMPACT:	None at this time. Within existing budget.
CONSULTEES:	The Public
CONSULTATION METHOD:	Public meeting

REFERENCE:	I067132
TITLE:	Highway Maintenance Works Programme 2017-21
PURPOSE OF REPORT:	The Council as part of its overall budget allocation makes provision for highway maintenance schemes. The funding is then targeted according to highway condition. In order to ensure most effective use of resource and the early booking of the plant and equipment, approval is sought annually to approve the targeting of funding to a those roads identified on a rolling list as being in greatest need.
DECISION MAKER:	Executive
DECISION DATE:	14 Mar 2017
FINANCIAL IMPACT:	As set out in the report
CONSULTEES:	Not applicable
CONSULTATION METHOD:	Not applicable

Unrestricted

REFERENCE:	I066819
TITLE:	Integrated Transport Capital Programme
PURPOSE OF REPORT:	To approve Integrated Transport Capital Programme for 2017/18.
DECISION MAKER:	Executive
DECISION DATE:	14 Mar 2017
FINANCIAL IMPACT:	Within approved budget.
CONSULTEES:	None.
CONSULTATION METHOD:	Not applicable.

REFERENCE:	I067059
TITLE:	Library IT Procurement Plan
PURPOSE OF REPORT:	To agree a plan for the procurement of IT hardware and software to allow self serve and technology assisted opening at the borough's libraries.
DECISION MAKER:	Executive
DECISION DATE:	14 Mar 2017
FINANCIAL IMPACT:	£632,000 Bracknell Forest Council capital budget requirement over two years supporting a £395,000 reduction in the libraries revenue budget over a two year period.
CONSULTEES:	Public consultation undertaken Elected Members Library staff
CONSULTATION METHOD:	Questionnaires Public meetings Gateway review

Unrestricted

REFERENCE:	I066939
TITLE:	Proposed Shared Emergency Planning Service for Berkshire
PURPOSE OF REPORT:	The purpose of the report is to set out in summary what is being proposed with regard to the creation of a combined Berkshire Emergency Planning Service and to seek agreement as to the way forward. A similar report is being presented to all Berkshire authorities.
DECISION MAKER:	Executive
DECISION DATE:	14 Mar 2017
FINANCIAL IMPACT:	The financial implications are contained with the body of the report. Based on the proposal the shared service should deliver a small saving against the current budget, which will allow the initial start up costs to be contained within budget.
CONSULTEES:	Berkshire Chief Executives Group and Emergency Planning Officers
CONSULTATION METHOD:	Reports.

REFERENCE:	I067455
TITLE:	To extend the contact for hosting and maintenance in relation to the Council's e+ programme
PURPOSE OF REPORT:	To authorise a five year contract extension for hosting and maintenance in relation to the e+ programme.
DECISION MAKER:	Executive Member for Culture, Corporate Services and Public Protection
DECISION DATE:	31 Mar 2017
FINANCIAL IMPACT:	Other than the inflation allowances included within the existing contract there are no financial implications arising from this decision.
CONSULTEES:	Not applicable.
CONSULTATION METHOD:	Not applicable.

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